



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID

V-02-ATT-12-25

Review Date

12/11/2025

Municipality

ATTICA, V.

Board Name

PLANNING BOARD

Applicant's Name

Nikki Cook-MS Consultants, Inc.

Referral Type

Site Plan Review

Variance(s)

Description:

Site Plan Review to construct a new drive through restaurant (Tim Hortons).

Location

140 Prospect St., Attica

Zoning District

General Commercial (GC) District

PLANNING BOARD RECOMMENDS:

APPROVAL WITH MODIFICATION(S)

EXPLANATION:

The required modifications are as follows: 1) The applicant provide documentation to the Village Planning Board on the adequacy of the drive through stacking proposed; and 2) The applicant provide a landscaping plan acceptable to the Village Planning Board. With these required modifications, the proposed drive through restaurant should pose no significant county-wide or inter-community impact.

Director

December 11, 2025

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901

DEPARTMENT USE ONLY:

GCDP Referral # V-02-ATT-12-25



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

RECEIVED

By the Genesee County Dept. of Planning at 9:09 am, Nov 17, 2025

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Village of Attica Planning Board

Address 9 Water Street

City, State, Zip Attica, NY 14011

Phone (585) 591 - 898

Ext. 5

2. APPLICANT INFORMATION

Name Nikki Cook-MS Consultants, Inc.

Address 2221 Schrock Road

City, State, Zip Columbus, OH 43229

Phone (941) 539 - 4240

Ext. _____

Email permits@msconsultants.com

MUNICIPALITY: ☐ City ☐ Town ☒ Village of Attica

3. TYPE OF REFERRAL: (Check all applicable items)

☐ Area Variance

☐ Use Variance

☐ Special Use Permit

☒ Site Plan Review

☐ Zoning Map Change

☐ Zoning Text Amendments

☐ Comprehensive Plan/Update

☐ Other: _____

Subdivision Proposal

☐ Preliminary

☐ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

A. Full Address 140 Prospect St.

B. Nearest intersecting road Route 98

C. Tax Map Parcel Number 3.-2-3.1

D. Total area of the property 246,114 ft. Area of property to be disturbed 1,400 sq ft.

E. Present zoning district(s) General Commercial (GC) District

5. REFERRAL CASE INFORMATION:

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

C. Please describe the nature of this request Site Plan Review and Area Variances to construct a new drive through restaurant (Tim Hortons).

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

☒ Local application

☒ Site plan

☐ Subdivision plot plans

☒ SEQR forms

☐ Zoning text/map amendments

☐ Location map or tax maps

☒ Elevation drawings

☐ Agricultural data statement

☐ New or updated comprehensive plan

☐ Photos

☐ Other: _____

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Julie Cook

Title Deputy Clerk/Treasurer

Phone (585) 591 -0898

Ext. 5

Address, City, State, Zip 9 Water Street, Attica, NY 14011

Email julie@attica.org

VILLAGE OF ATTICA

Zoning Application/Permit

Date: _____ Permit # _____ Tax Map Number: 3.-2-3.1

Flood Zone ☐ Yes ☒ No

All Village of Attica property owners are required to comply with all the regulations as set forth b New Your State Building Code and the Zoning of the Village of Attica.

Instructions:

- This application is to be completed in ink or typewriter and submitted in duplicate to the Village Office.
- A plot plan in duplicate showing location and actual dimensions of the lot and the exact size and location on the lot of the buildings on the premises, relation to the public streets or areas and to adjoining premises, giving a detailed description of the layout of the property to be drawn on a diagram which is part of this application.
- Work described in this application is not to be commenced before receiving a Building Permit from Wyoming County. **THIS IS NOT A BUILDING PERMIT.** In the event that a setback variance is requested, and instrument survey showing precise setbacks to be created by the project, along with existing and proposed structure, must be attached.

APPLICATION IS HEREBY MADE to the Village of Attica pursuant to the Zoning Ordinances of the Village of Attica, for the buildings, additions, alterations, or relocation as herein described. The applicant agrees to comply with all the applicable laws, ordinances and regulations.

1. APPLICANT

Name Nikki Cook - ms consultants, inc Telephone No. 941.539.4240
Address 2221 Schrock Rd, Columbus, OH 43229 E-mail permits@msconsultants.com

2. PROPERTY OWNER

Name Pierre Montagna Telephone No. _____
Address 5707 Blue Lagoon Dr, Miami, FL 33126 E-mail pmontagna@rbi.com

3. PRESENT USE IS: _____
PROPOSED CHANGE/USE OR OCCUPANCY _____

4. APPLYING FOR: ☒ New Structure ☐ Addition ☐ Alteration ☐ Storage ☐ Site Plan ☐ Other

5. TYPE USE: If Dwelling: ☐ 1 Family ☐ 2 Family ☐ Multiple Family
If Commercial: ☐ Office ☒ Retail ☐ Industrial ☐ Storage ☐ Assembly
☐ Other, explain _____

6. DIMENSIONS OF: New Structure _____ Area 1400 sq. ft.
Additions _____ Area _____ sq. ft.
Alterations _____ Area _____ sq. ft.

7. ESTIMATED COST: \$ 1,100,000 Permit Fee _____

8. LOCATION OF LAND FOR PROPOSED WORK:

Address 140 Prospect St, Attica, NY
Tax Map No. 3.-2-3.1
Size & Area of the lot 246114 ft. by _____ ft = _____ sq. ft.
Zone Dist. GC (in which premises are situated)

9. Does the proposed construction or use violate any Zoning Law or other ordinance or Regulation? No

If yes, give details _____

10. The plot diagram attached to this application or on separate drawings, showing location of all buildings existing or proposed, together with the dimensions from property lines, the surface elevation of the front yard at the front wall of the principal building as related to the surface of the street or highway, lot number, street names and type of lot (interior or corner) and lot description is a part of this application.

I HEREBY CERTIFY THAT I AM THE Nikki Cook and that I am duly authorized to make and file this application; that all statements contained in this application are true to the best of my knowledge and belief, and that the work will be performed in the manner set forth in this application and in the plans filed herewith.

Signature of Applicant

_____ Approved _____ Disapproved
 Date Zoning Officer (circle one)

The denial, if so manifested above, is based on a violation of Section _____ of the zoning ordinance, as follows: _____

PETITION TO THE BOARD OF APPEALS

To the Board of Appeals, Village of Attica:

Dated _____ Signed _____
Petitioner

Action by the Board of Appeals of the Village of Attica on the above stated matter:

Dated _____ Attest _____
Secretary, Board of Appeals

Chairman

Member

Member

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

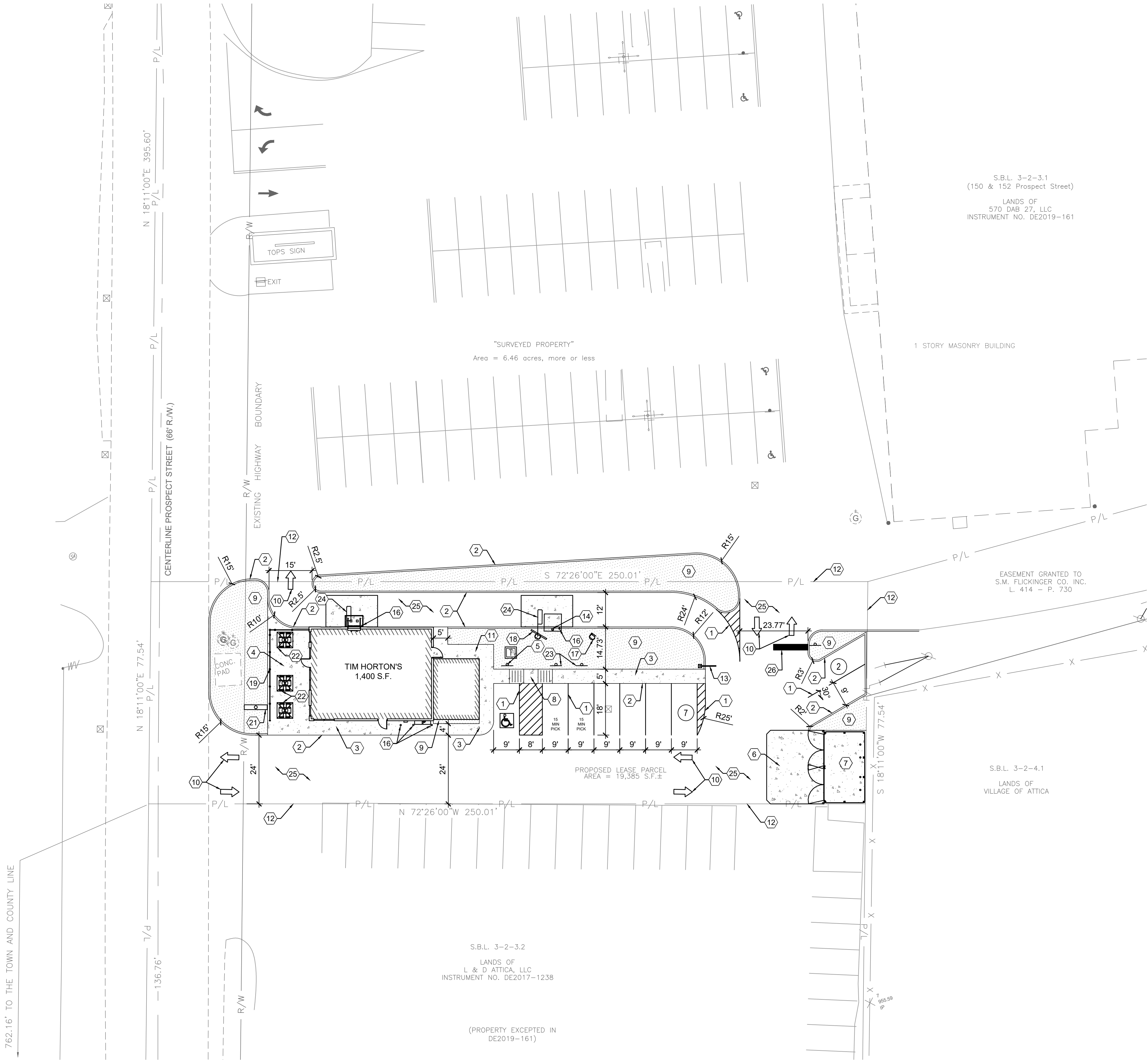
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres PROPERTY TO BE LEASED				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	Other(Specify):	
Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input type="checkbox"/>	YES <input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input type="checkbox"/>	YES <input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO <input type="checkbox"/>	YES <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: _____ Date: _____		
Signature:  _____ Title: _____		



SITE DATA			
	SQ. FT.	ACRES	PERCENT
TOTAL SITE AREA	19,385	0.45	-
LIMITS OF DISTURBANCE	20,312	0.47	-
BUILDING	1,400	0.03	7.22
EXISTING PERVIOUS	711	0.02	3.67
EXISTING IMPERVIOUS	18,674	0.45	96.33
PROPOSED PERVIOUS	2,775	0.06	14.32
PROPOSED IMPERVIOUS	16,610	0.38	85.68

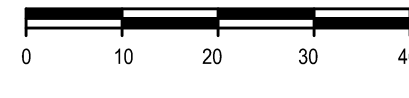
PARKING DATA	
	PROVIDED
STANDARD	8
HANDICAP	1
TOTAL	9
CAR STACKING	9
ZONING: GC - GENERAL COMMERCIAL	
MINIMUM PARKING REQUIREMENT = 1 PER EMPLOYEE (3) PLUS 4 PER 1,000 S.F. (6)	
9 TOTAL PARKING SPACES REQUIRED	

KEYED NOTES:

- PROPOSED PAINTED PARKING STRIPING (TYPICAL). ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE, UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS OR SPECIFICATIONS.
- PROPOSED 6" CONCRETE CURB. SEE DETAIL ON SHEET C-7.6.
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C-7.6.
- PROPOSED CONCRETE PATIO. INSTALL PER SIDEWALK DETAIL ON SHEET C-7.6.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) ADA PARKING SIGN. SIGN PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS. SEE DETAIL ON SHEET C-7.0.
- CONCRETE DUMPSTER ENCLOSURE APRON . SEE DETAIL ON SHEET C-7.0.
- PROPOSED DUMPSTER ENCLOSURE AND CONCRETE PAD. SEE SHEET C-7.5 FOR DETAILS.
- PROPOSED ADA RAMP. SEE DETAIL ON SHEET C-7.0.
- PROPOSED SEEDING AREA. SEE SPECIFICATIONS ON SHEET C-8.1.
- PROPOSED DIRECTION ARROW PAVEMENT MARKINGS. SEE DETAIL ON SHEET C-7.0.
- DELIVERY ACCESS SIDEWALK. INSTALL PER SIDEWALK DETAIL ON SHEET C-7.6.
- PAVEMENT TO BE FLUSH WITH ADJACENT ASPHALT.
- PROPOSED CLEARANCE BAR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED TIM HORTONS SPEAKER POST. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED SITE LIGHTING. REFER TO THE ELECTRICAL AND ARCHITECTURAL PLANS FOR LIGHTING AND POLE FOUNDATION DETAILS.
- PROPOSED BOLLARD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED TIM HORTONS OUTDOOR PRE-ORDER MENU BOARD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED TIM HORTONS OUTDOOR MENU BOARD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED ALUMINUM RAILING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED SITE DIRECTIONAL SIGN. INSTALL IN ACCORDANCE WITH THE SIGNAGE PACKAGE PROVIDED BY SIGN VENDOR.
- PROPOSED TIM HORTONS STANDARD PYLON SIGN. INSTALL IN ACCORDANCE WITH THE SIGNAGE PACKAGE PROVIDED BY SIGN VENDOR.
- PROPOSED PATIO FURNITURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED SIGN INDICATING "MOBILE ORDER/15 MINUTE PICKUP" PARKING SPACE.
- PROPOSED 6" CONCRETE PAD FOR LOOP DETECTOR. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-7.0.
- PROPOSED 24" WIDE PAINTED WHITE STOP BAR.

GENERAL NOTES:

- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN THE VILLAGE OF ATTICA, TOWN OF ALEXANDER, COUNTY OF GENESEE AND STATE OF NEW YORK, BY SURVEYOR: GPI ENGINEERING, LANDSCAPE ARCHITECTURE AND SURVEYING, LLP, 200 HARRISON STREET, SUITE H2, JAMESTOWN, NEW YORK, 14701, PH: (716) 488-2803.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING PAVED AREAS AS NECESSARY. THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS AT ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SEEDED/SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- ALL RADII INDICATED ON PLANS SHALL BE CONSTRUCTED AS CIRCULAR ARCS. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.



DRAWN BY

CH

CHECKED BY

APPROVED BY

KCF/JML

ISSUE DATE

10/16/2025

ISSUE

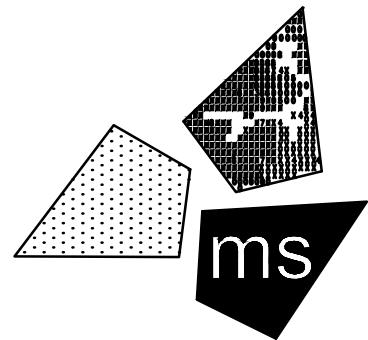
#	DATE	DESCRIPTION
	08/29/25	CONCEPT SITE PLAN
	10/16/25	ZONING SUBMISSION

REVISIONS

#	DATE	DESCRIPTION

NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



Mosure LLC
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

Tim Hortons

PROJECT:

ADDRESS
140 PROSPECT STREET
ATTICA, NY 14011
STORE #: 922066

STORE TYPE:

US WELCOME MODEL 2024: 1400-24

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT NO.:

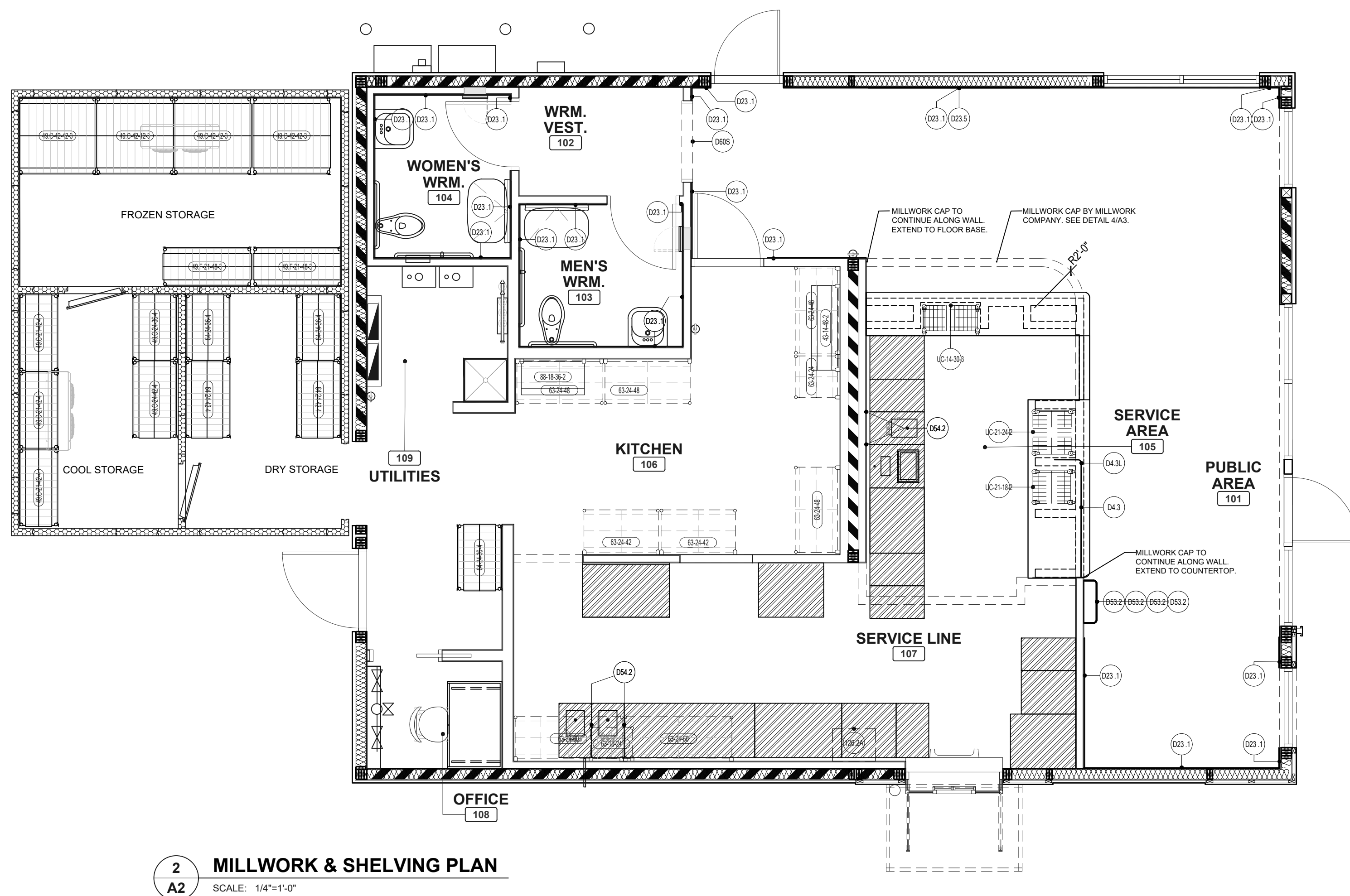
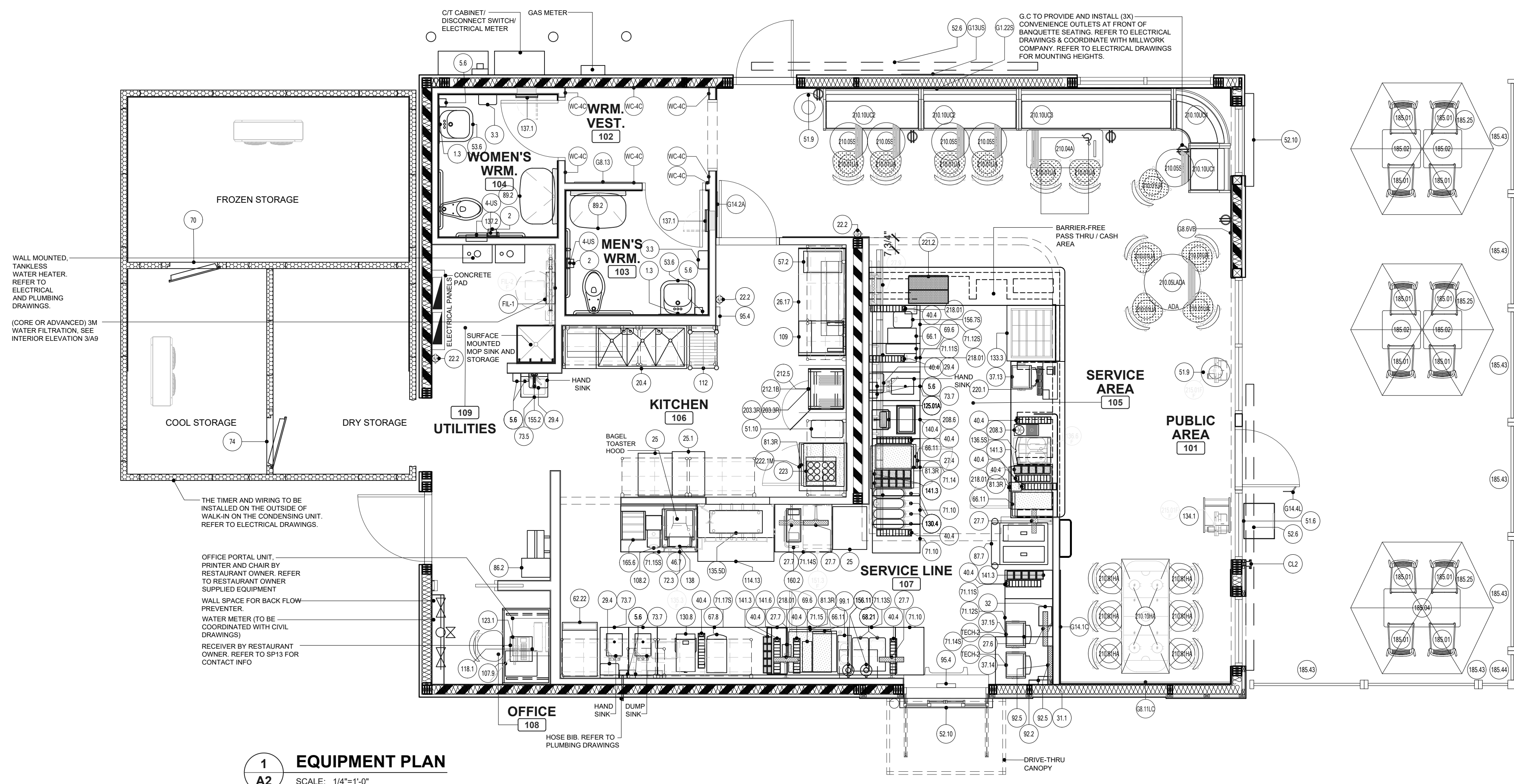
40509-66

SHEET TITLE:

SITE DIMENSION PLAN

SHEET:

C-4.0



EQUIPMENT PLAN GENERAL NOTES:

1. REFER TO SHEET A2.1 FOR EQUIPMENT SCHEDULES
2. WALL MOUNTED FIRE EXTINGUISHER TO BE SUPPLIED AND INSTALLED BY G.C. TO VERIFY LOCATION WITH FIRE MARSHALL.
3. ALL FUTURE EQUIPMENT TO BE ROUGHED-IN.

COLOR SCHEME:

WELCOME 2025 - US ARENA




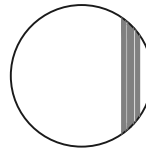
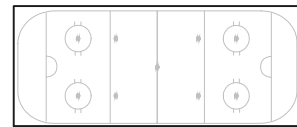
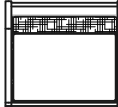
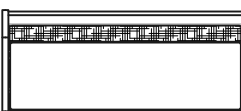
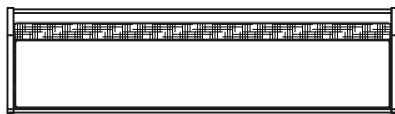
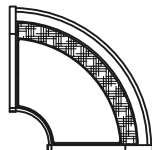




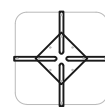
RESTAURANT OWNER SUPPLIED EQUIPMENT

OFFICE FURNITURE (DESK, PEDESTAL, CHAIR ETC) BY RESTAURANT OWNER
SUGGESTED SIZING AS FOLLOWS:
DESK: 2'-6" X 3'-10
DESK CHAIR: 1'-4" X 1'-8"
PEDESTAL: X" X X"
MUSIC SYSTEM
SIGNAGE
BLINDS
LOCKERS
DMB SUPPLY & INSTALL


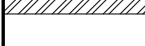




MILLWORK GENERAL NOTES:

1. ALL MILLWORK TO BE INSTALLED BY G.C. NOT MILLWORKER.
2. THE MILLWORK INSTALLER IS REQUIRED TO CUT/DRILL ALL GROMMETS AND CUTOUT WHERE NECESSARY. GROMMETS SHOULD BE 80MM IN DIAMETER AND LOCATED NO MORE THEN 5 INCHES FROM THE WALL. G.C TO PURCHASE AND INSTALL GROMMETS CAPS; SPECIFYING RICHELIEU BLACK 80MM DIA. GROMMET COVER OR EQUIVALENT.
3. ALL PENETRATIONS IN A STAINLESS STEEL COUNTERTOP TO BE DONE WITH AN APPROPRIATE TOOL DESIG FOR CUTTING STAINLESS STEEL.

SEATING LEGEND

		EQ#
	CAFE STOOL - BLONDE DON CHAIRY STOOL	210.01HA
	CAFE CHAIR - BLONDE DON CHAIRY - UPHOLSTERED	210.01UA
	TABLE - 24" DIA CAFE TABLE - SMALL	210.05SA
	TABLE -36" DIA CAFE TABLE - LARGE	210.05LADA
	TABLE - FREESTANDING -COMMUNITY - 6FT - BAR HEIGHT	210.19HA
	BENCH W/ UPH SEAT - 2'-5 $\frac{1}{2}$ "	210.10UC1
	BENCH W/ UPH SEAT - 5'-1 $\frac{3}{8}$ "	210.10UC2
	BENCH W/ UPH SEAT - 8'-1 $\frac{1}{2}$ "	210.10UC3
	BENCH W/ UPH SEAT - CORNER	210.10UC4
	TABLE - FREESTANDING - RECTANGLE 24" X 48" BARRIER FREE	210.04A
	COSTA BISTRO PATIO CAFE CHAIR	185.01
	PATIO COFFEE TABLE - 24" X 24"	185.02
	ADA PATIO COFFEE TABLE - 24" X 48"	185.04
NOTES:  G.C TO CENTRE TABLE BASES ON TABLES AS SHOWN		

EQUIPMENT PLAN LEGEND

EQUIPMENT PLAN LEGEND		NOTE: ALL SYMBOLS MAY NOT OCCUR
	NEW STAINLESS STEEL WORK TABLES	
		
	NEW EQUIPMENT	
	FUTURE EQUIPMENT	
	RELOCATED EQUIPMENT	
	EXISTING EQUIPMENT	

DRAWN BY

LRK

CHECKED BY
APPROVED BY

MES/MAR

ISSUE DATE

10/17/2025

ISSUE

#	DATE	DESCRIPTION
	10/17/25	SD SUBMITTAL

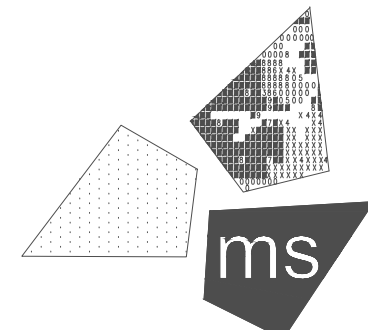
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REVISIONS

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NOTICE

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Mosure L.L.C.

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Tim Hortons

PROJECT:

ADDRESS
140 PROSPECT STREET
ATTICA,NY 14011
STORE #: 922066

STORE TYPE:

US WELCOME MODEL 2025: 1400-25

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO.

40509-66

SHEET TITLE:

EQUIPMENT & MILLWORK PLAN

SHEET:

A2

Schedule A (NEW)

Tally Generated: Oct 16, 2025 13:56

CODE	QTY	DESCRIPTION	INST'D	NOTES
20.4	1	Sink 3 Compartment 57" w/drainboard arm	GC	20.4 Rinser and Faucet purchased seperately by GC
26.17	1	FINISHING TABLE - BOH - 68" (US ONLY)	GC	
27.4	1	MONITOR - 10" - FLUSH MOUNTED	TDL VENDOR	
27.7	5	MONITOR - 23" - SERVICE AREA	TDL VENDOR	
31.1	1	WIRELESS BASE STATION - HME	TDL VENDOR	
32	1	BATTERY CHARGER	TDL VENDOR	
37.13	1	POS CASH STATION - FRONT COUNTER (STANDARD)	TDL VENDOR	
37.14	1	POS CASH STATION - DRIVE THRU CASH	TDL VENDOR	
37.15	1	POS CASH STATION - DRIVE THRU ORDER	TDL VENDOR	
49.C-21-42-4	3	SHELF - COOLER - 21x42in - 4	GC	
49.C-24-36-4	1	SHELF - COOLER - 24x36in - 4	GC	
49.C-24-42-4	1	SHELF - COOLER - 24x42in - 4	GC	
49.C-42-42-3	4	SHELF - COOLER - 42x42in - 3	GC	
49.F-21-48-3	2	SHELF - FREEZER - 21x48in - 3	GC	
51.6	1	SINGLE STREAM OUTDOOR WASTE BIN	GC	
62.22	1	ICE MACHINE - STANDALONE - CELCO CIM0826 (US)	GC	
68.21	2	COFFEE BREWER - FRESH BREWER	FZ	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
70	1	WALK IN FREEZER	TDL VENDOR	
72.3	1	EXHAUST HOOD - TOASTER	GC	
74	1	WALK-IN COOLER	TDL VENDOR	
81.3R	4	U/C REFRIGERATOR - RIGHT HINGE	GC	
92.2	1	LANE TIMER - HME (UPGRADE)	GC	
92.5	2	LANE TIMER - MONITOR	GC	
107.9	1	SAFE - UNDERCOUNTER - AMSEC DSF2516	GC	
109	1	GLAZER - TABLE TOP	GC	
112	1	MOBILE DISH CART	GC	
114.13	1	SSO MODULES - SANDWICH UNIT MODULE		
118.1	1	OFFICE COMPUTER	GC	
123.1	1	MEDIA CABINET - Standard	GC	
133.3	1	DONUT DISPLAY SHOWCASE - IN-COUNTER - 3 x 5 (WELCOME 2020)	GC	
136.SS	1	ESPRESSO MACHINE - SCHAEERER COFFEE ART PLUS	GC	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
138	1	TOASTER STAND	GC	
156.7S	1	ICB INFUSION STAND - SINGLE	GC	
203.3R	2	OVEN - RATIONAL PRO XS - RIGHT HINGE	GC	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
210.01HA	6	CAFE STOOL - BLONDE DON CHAIRY STOOL	GC	
210.01UA	11	CAFE CHAIR - BLONDE DON CHAIRY UPHOLSTERED	GC	
210.04A	1	CAFE TABLE B.F. - 24 X 48	GC	
210.05LADA	1	36" DIA CAFE TABLE ADA	GC	
210.05SA	5	24" DIA CAFE TABLE	GC	
210.10UC1	1	750mm BENCH (PL4) UPH CDN Shield	GC	
210.10UC2	2	1564mm BENCH (PL4) UPH CDN Shield	GC	
210.10UC3	1	2476mm BENCH (PL4) UPH CDN Shield	GC	
210.10UC4	1	CORNER BENCH /w UPH SEAT	GC	
210.19HA	1	TABLE - COUNTER HEIGHT - COMMUNITY - 6 FT	GC	
212.1B	1	RATIONAL OVEN COMPONENT - STAND FOR 2 XS OVENS	GC	
212.5	1	RATIONAL OVEN COMPONENT - ULTRAVENT XS	GC	
218.01	4	RECEIPT PRINTER - STICKY PAPER	TDL VENDOR	
220.1	1	POS SHROUD - WHITE METAL	GC	
221.2	1	ORDER READY PICKUP STEP (IW STORAGE)	GC	
222.1M	1	EGG COOKING STATION - MEDIUM (STANDARD)	GC	
43-14-48-2	1	HANGING - 43-14-48-2	GC	
63-18-24	1	OVERHEAD - 63-18-24	GC	
63-24-24	1	OVERHEAD - 63-24-24	GC	
63-24-42	2	OVERHEAD - 63-24-42	GC	
63-24-48	4	OVERHEAD - 63-24-48	GC	
63-24-60	2	OVERHEAD - 63-24-60	GC	
64-24-36-4	3	FULL HEIGHT - 64-24-36-4	GC	
64-24-42-4	2	FULL HEIGHT - 64-24-42-4	GC	
88-18-36-2	1	HANGING RACK - 88-18-36-2	GC	
CL2	1	CL2 - EXTERIOR LIGHT BAND - US ONLY	GC	
D4.3	1	PERF METAL GUARD (CENTER)	GC	MANUFACTURED BY S.F.C.
D4.3L	1	PERF METAL GUARD (LEFT)	GC	MANUFACTURED BY S.F.C.
D23.1	21	CHAIR RAIL	GC	MANUFACTURED BY S.F.C.
D23.5	1	ARTWORK FRAME	GC	
D53.2	4	SMALL WALL MT MERCH SHELF (US)	GC	MANUFACTURED BY S.F.C.
D54.2	4	WALL MOUNTED SPLASH GUARD	GC	MANUFACTURED BY S.F.C.
D60S	1	PORTAL TRIM - STANDARD LINEAR	GC	MANUFACTURED BY S.F.C.
G1.22S	1	COFFEE LOGISTICS (SMALL)	GC	
G4.4F	8	CUSTOM TRELLIS LAYOUT	GC	
G8.11LC	1	FOUNDATION CAMP MURAL (CROP)		
G8.13	1	The Goose	GC	
G13US	1	EXTERIOR STAMP - US	GC	TEXT TO BE CITY NAME AS PER ADDRESS ON LUCERNEX
G14.1C	1	WOOD ICONIC CUP	GC	
G14.2A	1	COFFEE STYLES - PAIR	GC	
G14.4L	1	HOCKEY STICK DOOR HANDLE - LEFT	GC	
UC-14-30-3	1	UNDER COUNTER - UC-14-30-3	GC	
UC-21-18-2	1	UNDER COUNTER - UC-21-18-2	GC	
UC-21-24-2	1	UNDER COUNTER - UC-21-24-2	GC	

Construction Item (NEW)

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CODE	QTY	DESCRIPTION	INST'D	NOTES
1.3	2	MIRROR - WASHROOM - ASI (STANDARD)	GC	REFER TO WASHROOM DETAILS SHEET FOR MORE INFO
2	2	TOILET PAPER DISPENSER	GC	REFER TO WASHROOM DETAILS SHEET FOR MORE INFO
3.3	2	HAND DRYER - XLERATOR (US)	GC	XLERATOR HAND DRYER H-4529
22.2	3	FIRE EXTINGUISHER (US)	GC	Pyro-chem 5lb - Model: PCSABC-1/PCSABSC-1 or sim.
53.6	2	VANITY - MURRO (STANDARD)	GC	REFER TO WASHROOM DETAILS SHEET FOR MORE INFO
73.5	1	HAND SINK - BOH - SOURCED	GC	Polarware 141-OC or sim.
137.1	2	GARBAGE - SEMI-RECESSED - ASI (STANDARD)	GC	SPEC: BRADLEY WASTE RECEPTICLE (#3251)
137.2	1	FEMININE WASTE DISPOSAL - SEMI-RECESSED - ASI (STANDARD)	GC	
155.2	1	EYE WASH STATION DRENCH HOSE	GC	Guardian G5026/G5026BP
185.01	12	PATIO CAFE CHAIR	GC	SKU: S-Nar-40243.02 BORA SIDE - OR - ULINE H-8592
185.02	4	SQUARE PATIO TABLE	GC	SKU: TT-SM-WH24SQ / Flore- 53053.00.000 - OR - ULINE H-8591
185.25	3	PATIO UMBRELLA	GC	2.0m SQ-SA/C2.0m-SQ-SA-R-Base-SB50KG/BaseTube38.3 - OR - ULINE H-8158R
185.43	7	PATIO FENCE (6FT)	GC	
185.44	1	PATIO FENCE (CORNER)	GC	
4-US	2	GRAB BARS - US	GC	REFER TO WASHROOM DETAILS S SHEET FOR MORE INFO
A	14	LIGHTS - AREA - 2x4 TROFFER	GC	REFER TO CONTACT INFO SHEET FOR LIGHTING VENDOR
E1	37	LIGHTS - AREA - 3in RECESSED CAN LIGHT (STANDARD)	GC	REFER TO CONTACT INFO SHEET FOR LIGHTING VENDOR
E10	14	LIGHTS - AREA - 4in Pendant Light	GC	REFER TO CONTACT INFO SHEET FOR LIGHTING VENDOR
G8.6VB	1	TIM THE MAN MURAL (US - SABRE)	GC	GC to provide dimensions when purchasing
LP7	1	LIGHTS - EXTERIOR - WALL PACK	GC	REFER TO CONTACT LIST SHEET FOR LIGHTING VENDOR
PD-3	8	LARGE ROUND PENDANT	GC	REFER TO CONTACT LIST SHEET FOR LIGHTING VENDOR
SC3	2	WASHROOM WALL SCONCE	GC	REFER TO CONTACT LIST SHEET FOR LIGHTING VENDOR
T3	7	MONO POINT LIGHT	GC	REFER TO CONTACT LIST SHEET FOR LIGHTING VENDOR
TECH-2	2	MONITOR MOUNT - UNDER MONITOR	GC	3M ADJ. MONITOR LAP STAND, 16"X12" BLACK
WC-4C	7	MeANDYering Geese - Dark	GC	REFER TO FINISHING SCHEDULE FOR VENDOR INFO
WL4	6	EXTERIOR SCONCE UP/DOWN LIGHT (RED - US)	GC	REFER TO CONTACT LIST SHEET FOR LIGHTING VENDOR

Equipment (NEW)

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CODE	QTY	DESCRIPTION	SUPPLY	INST'D	NOTES
25	2	MOBILE KEEPER RACK	Wasserstrom	GC	
25.1	1	SHORT MOBILE KEEPER RACK (NBD/SITE SPECIFIC)	Wasserstrom	GC	
26.17	1	FINISHING TABLE - BOH - 68" (US ONLY)	Schedule A	GC	
29.4	3	PAPER TOWEL DISPENSER - TOUCHLESS	Wasserstrom	GC	
40.4	12	LID DISPENSER - 5 STEP HOT/COLD - ANGLED	Wasserstrom	GC	
46.7	1	TOASTER - HI-SPEED - Wx6225	Wasserstrom	GC	
51.6	1	SINGLE STREAM OUTDOOR WASTE BIN	Schedule A	GC	
57.2	1	FONDANT WARMER - STANDARD	Wasserstrom	GC	
62.22	1	ICE MACHINE - STANDALONE - CELCO CIM0826 (US)	Schedule A	GC	
66.1	1	DAIRY DISPENSER - SINGLE PRODUCT (US ONLY)	Wasserstrom	GC	
66.11	3	DAIRY DISPENSER - DUAL PRODUCT - NEXT GEN	Wasserstrom	GC	
67.8	1	HOT POWDERED DRINK MACHINE - IMX 3 (STANDARD)	Wasserstrom	GC	
68.21	2	COFFEE BREWER - FRESH BREWER	Schedule A	FZ	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
69.6	2	SUGAR DISPENSER - NARROW - NEXT-GEN (STANDARD)	Wasserstrom	GC	
70	1	WALK IN FREEZER	Schedule A	TDL VENDOR	
71.10	3	WORK TABLE - 18" (457.2mm) _ DT WINDOW _ 3 shelves	Wasserstrom	GC	
71.11S	2	WORK TABLE - 18" (457.2mm) with 2 shelves	Wasserstrom	GC	
71.12S	2	WORK TABLE - 24" (609.6mm) with 2 shelves	Wasserstrom	GC	
71.13S	1	WORK TABLE - 30" (762mm) with 2 shelves	Wasserstrom	GC	
71.14	1	WORK TABLE - 3' (914mm)	Wasserstrom	GC	
71.14S	2	WORK TABLE - 3' (914mm) with 2 shelves	Wasserstrom	GC	
71.15	1	WORK TABLE - 4' (1219mm)	Wasserstrom	GC	
71.15S	1	WORK TABLE - 4' (1219mm) 2 shelves	Wasserstrom	GC	
71.17S	1	WORK TABLE - 6' (1829mm) 2 shelves	Wasserstrom	GC	
72.3	1	EXHAUST HOOD - TOASTER	Schedule A	GC	
73.7	3	HAND/DUMP SINK - SS TABLE INTEGRATED W/FAUCET	Wasserstrom	GC	Faucet is included
74	1	WALK-IN COOLER	Schedule A	TDL VENDOR	
81.3R	4	U/C REFRIGERATOR - RIGHT HINGE	Schedule A	GC	
87.7	1	ICED CAPP - FULL HEIGHT - TAYLOR 342 - DUAL WHIP	Wasserstrom	GC	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
99.1	1	STEEPED TEA (STANDARD)	Wasserstrom	GC	
108.2	1	BAGEL SABRE (STANDARD)	Wasserstrom	GC	
109	1	GLAZER - TABLE TOP	Schedule A	GC	
112	1	MOBILE DISH CART	Schedule A	GC	
114.13	1	SSO MODULES - SANDWICH UNIT MODULE	Schedule A		
130.4	4	SLIMLINE DISPENSER - DISPENSER - NARROW	Wasserstrom	GC	
130.8	1	ICE COFFEE BREWER - IC3-DBC (US)	Wasserstrom	GC	
135.5D	1	PHU - 3H x 4W - DUAL SIDED	Wasserstrom		
136.SS	1	ESPRESSO MACHINE - SCHAEERER COFFEE ART PLUS	Schedule A	GC	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
138	1	TOASTER STAND	Schedule A	GC	
140.4	1	ICE BIN - SS TABLE INTEGRATED W/ WATER SPIGOT CUTOUT	Wasserstrom	GC	
141.3	5	SYRUP CADDY - 5 BOTTLES	Wasserstrom	GC	
141.6	1	BULK SUGAR CADDY	Wasserstrom	GC	
156.7S	1	ICB INFUSION STAND - SINGLE	Schedule A	GC	
156.11	2	THERMAL SEALED AXIOM CARAFE (US)	Wasserstrom	GC	
160.2	1	PANINI PRESS - STAR - SINGLE	Wasserstrom	GC	
165.6	1	SPEED RACK- METAL - COUNTERTOP NARROW	Wasserstrom	GC	
203.3R	2	OVEN - RATIONAL PRO XS - RIGHT HINGE	Schedule A	GC	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
208.3	1	RINSER - IN-COUNTER WITH DRAIN PAN (STANDARD)	Wasserstrom	GC	GC is required to cut opening in countertop
212.1B	1	RATIONAL OVEN COMPONENT - STAND FOR 2 XS OVENS	Schedule A	GC	
212.5	1	RATIONAL OVEN COMPONENT - ULTRAVENT XS	Schedule A	GC	
222.1M	1	EGG COOKING STATION - MEDIUM (STANDARD)	Schedule A	GC	
223	1	TABLE TOP EGG COOKER	Wasserstrom	GC	

Wasserstrom (NEW)

Tally Generated: Oct 16, 2025 13:56

CODE	QTY	DESCRIPTION	INST'D	NOTES
25	2	MOBILE KEEPER RACK	GC	
25.1	1	SHORT MOBILE KEEPER RACK (NBD/SITE SPECIFIC)	GC	
29.4	3	PAPER TOWEL DISPENSER - TOUCHLESS	GC	
40.4	12	LID DISPENSER - 5 STEP HOT/COLD - ANGLED	GC	
46.7	1	TOASTER - HI-SPEED - Wx6225	GC	
51.10	1	U/C GARBAGE FOR EGG (US)	GC	
51.9	2	SINGLE STREAM INDOOR WASTE BIN	GC	Frost stand alone waste receptacle. White. Code: 310W
57.2	1	FONDANT WARMER - STANDARD	GC	
66.1	1	DAIRY DISPENSER - SINGLE PRODUCT (US ONLY)	GC	
66.11	3	DAIRY DISPENSER - DUAL PRODUCT - NEXT GEN	GC	
67.8	1	HOT POWDERED DRINK MACHINE - IMIX 3 (STANDARD)	GC	
69.6	2	SUGAR DISPENSER - NARROW - NEXT-GEN (STANDARD)	GC	
71.10	3	WORK TABLE - 18" (457.2mm) _ DT WINDOW _ 3 shelves	GC	
71.11S	2	WORK TABLE - 18" (457.2mm) with 2 shelves	GC	
71.12S	2	WORK TABLE - 24" (609.6mm) with 2 shelves	GC	
71.13S	1	WORK TABLE - 30" (762mm) with 2 shelves	GC	
71.14	1	WORK TABLE - 3' (914mm)	GC	
71.14S	2	WORK TABLE - 3' (914mm) with 2 shelves	GC	
71.15	1	WORK TABLE - 4' (1219mm)	GC	
71.15S	1	WORK TABLE - 4' (1219mm) 2 shelves	GC	
71.17S	1	WORK TABLE - 6' (1829mm) 2 shelves	GC	
73.7	3	HAND/DUMP SINK - SS TABLE INTEGRATED W/FAUCET	GC	Faucet is included
87.7	1	ICED CAPP - FULL HEIGHT - TAYLOR 342 - DUAL WHIP	GC	Owner/Operator to follow Equipment Playbook provided by Tim Hortons Construction for Commissioning
89.2	2	BABY CHANGE TABLE - HORIZONTAL MOUNTED	GC	
95.4	2	WALL CLOCK	GC	
99.1	1	STEEPED TEA (STANDARD)	GC	
108.2	1	BAGEL SABRE (STANDARD)	GC	
126.2A	1	AXIOM, EGG, MISC SHELF	GC	
130.4	4	SLIMLINE DISPENSER - DISPENSER - NARROW	GC	
130.8	1	ICE COFFEE BREWER - IC3-DBC (US)	GC	
134.1	1	HIGH CHAIR & TRAY - KOALA (STANDARD)	GC	
135.5D	1	PHU - 3H x 4W - DUAL SIDED		
140.4	1	ICE BIN - SS TABLE INTEGRATED W/ WATER SPIGOT CUTOUT	GC	
141.3	5	SYRUP CADDY - 5 BOTTLES	GC	
141.6	1	BULK SUGAR CADDY	GC	
156.11	2	THERMAL SEALED AXIOM CARAFE (US)	GC	
160.2	1	PANINI PRESS - STAR - SINGLE	GC	
165.6	1	SPEED RACK- METAL - COUNTERTOP NARROW	GC	
208.3	1	RINSER - IN-COUNTER WITH DRAIN PAN (STANDARD)	GC	GC is required to cut opening in countertop
208.6	1	RINSER - REUSABLE CUP RINSER + DRAIN BOARD	GC	
223	1	TABLE TOP EGG COOKER	GC	
FIL-1	1	WATER FILTRATION SYSTEM - 3M - CORE	GC	

Owner Sourced (NEW)

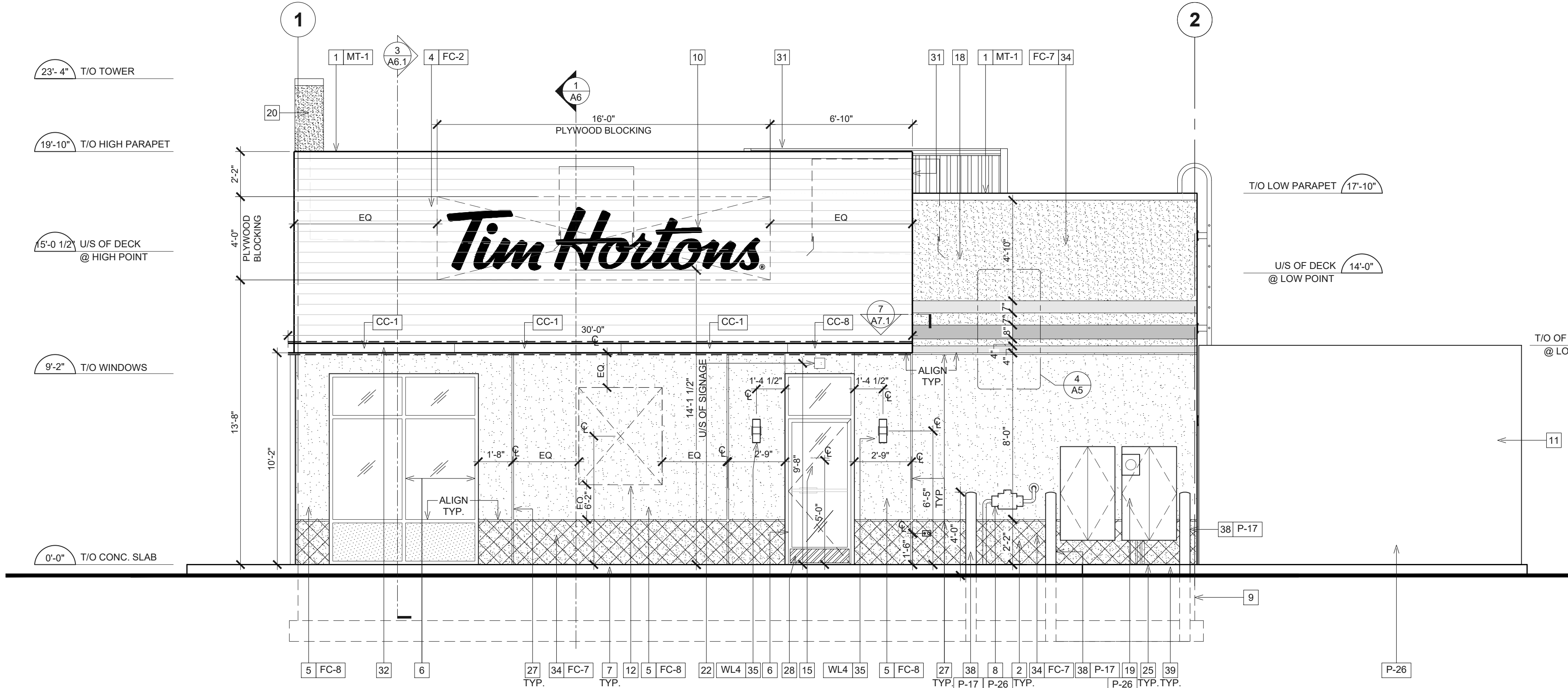
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CODE	QTY	DESCRIPTION	INST'D	NOTES
5.6	8	SOAP DISPENSER - WALL-MOUNTED - ECOLAB	GC	
27.6	1	MONITOR - 17" - CRASHPOINT	TDL VENDOR	
52.10	2	TIMS (TIM) MAPLE LEAF SIGN	TDL VENDOR	
52.6	2	FASCIA SCRIPT SIGN - 36"	TDL VENDOR	
86.2	1	LOCKERS - SINGLE WITH HANGING ROD	GC	
125.01A	4	5P SAMSUNG - WALL MOUNTED (US ONLY)	TDL VENDOR	

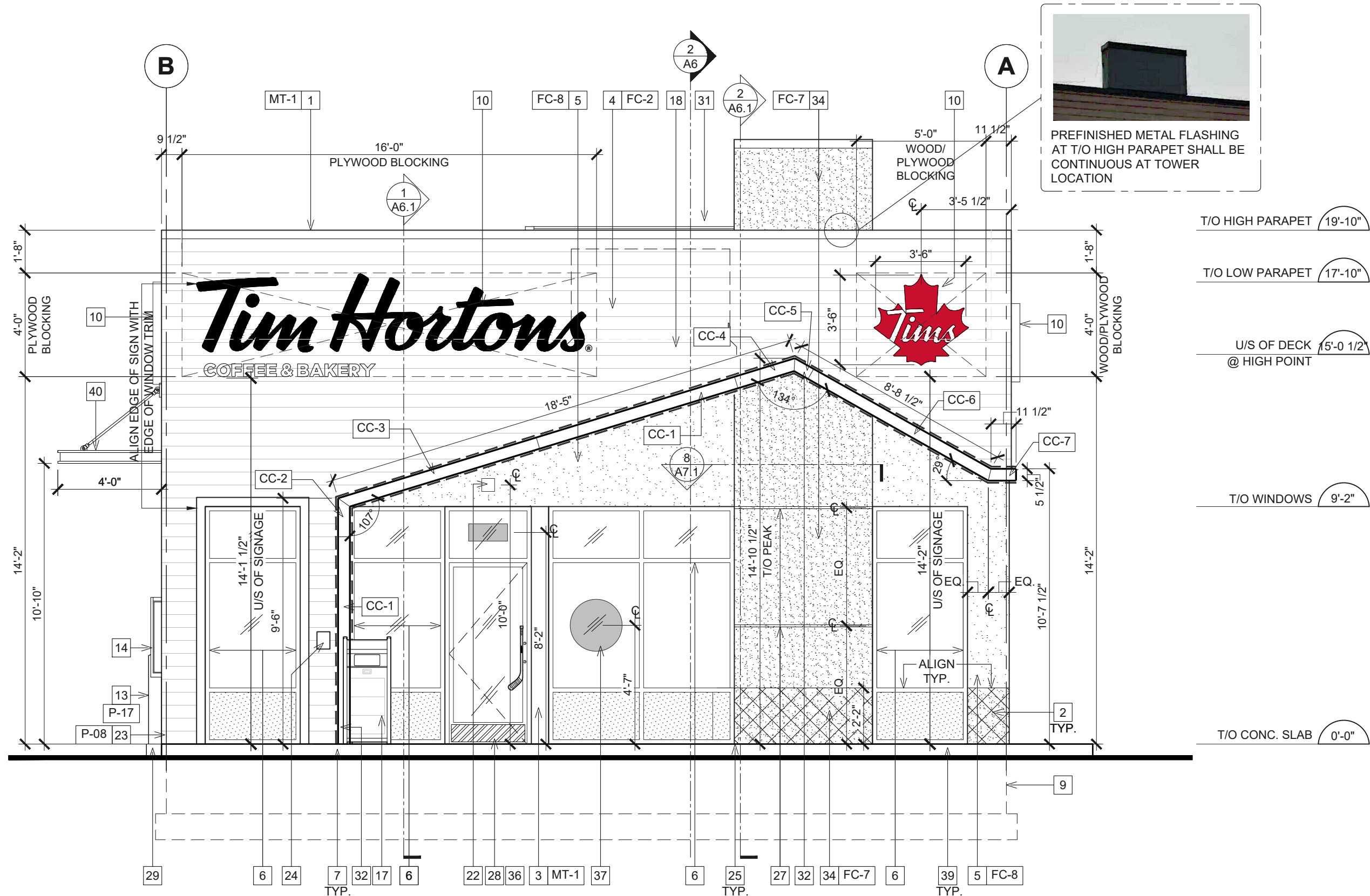
Furniture/Fixtures (NEW)

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CODE	QTY	DESCRIPTION	SUPPLY	INST'D	NOTES
51.9	2	SINGLE STREAM INDOOR WASTE BIN	Wasserstrom	GC	Frost stand alone waste receptacle. White. Code: 310W
95.4	2	WALL CLOCK	Wasserstrom	GC	
134.1	1	HIGH CHAIR & TRAY - KOALA (STANDARD)	Wasserstrom	GC	
185.01	12	PATIO CAFE CHAIR	Construction Item	GC	SKU: S-Nar-40243.02 BORA SIDE - OR - ULINE H-8592
185.02	4	SQUARE PATIO TABLE	Construction Item	GC	SKU: TT-SM-WH24SQ / Flore- 53053.00.000 - OR - ULINE H-8591
185.04	1	ADA PATIO TABLE	Obsolete	GC	
185.25	3	PATIO UMBRELLA	Construction Item	GC	2.0m SQ-SA/C2.0m-SQ-SA-R-Base-SB50KG/BaseTube38.3 - OR - ULINE H-8158R
185.43	7	PATIO FENCE (6FT)	Construction Item	GC	
185.44	1	PATIO FENCE (CORNER)	Construction Item	GC	
210.01HA	6	CAFE STOOL - BLONDE DON CHAIRY STOOL	Schedule A	GC	
210.01UA	11	CAFE CHAIR - BLONDE DON CHAIRY UPHOLSTERED	Schedule A	GC	
210.04A	1	CAFE TABLE B.F. - 24 X 48	Schedule A	GC	
210.05LADA	1	36" DIA CAFE TABLE ADA	Schedule A	GC	
210.05SA	5	24" DIA CAFE TABLE	Schedule A	GC	



1
A5 PROPOSED SIDE ELEVATION
SCALE: 1/4"=1'-0"



2
A5 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOR: TO MATCH WINDOW / DOOR FRAMES.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

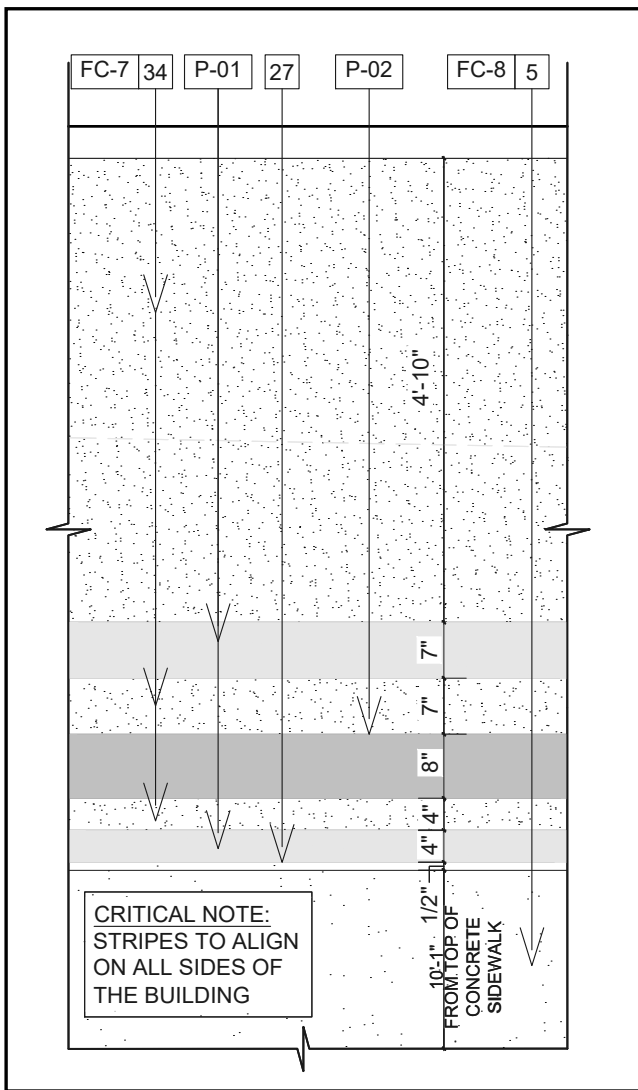
1	NOTE REFERENCE REFER TO ELEVATION NOTES
FIN	FINISH TYPE

EXTERIOR SIGNAGE SCHEDULE

SIGNAGE	QTY.
COFFEE & BAKERY	1
NO ENTRY DECAL	1
TIM HORTONS MAPLE LEAF (4'-0" x 4'-0") (WITH LOGO)	1
TIM HORTONS MAPLE LEAF (3'-6" x 3'-6") (WITH LOGO)	1
STORE ADDRESS VINYL ADHESIVE	1
TIM HORTONS (2'-0" DIA.) VINYL ADHESIVE	1
TIM HORTONS SCRIPT (36") WITH COFFEE AND BAKERY	1
TIM HORTONS SCRIPT (36")	1

CL-2 LIGHTBAND PANEL SCHEDULE

PANEL	QTY.
CC-1 8'-0" PANEL	5
CC-2 1'-6" PANEL (ANGLE CUT)	1
CC-3 8'-0" PANEL (ANGLE CUT)	1
CC-4 2'-5" PANEL (ANGLE CUT)	1
CC-5 0'-10" PANEL (ANGLE CUT)	1
CC-6 7'-10" PANEL	1
CC-7 1'-0" PANEL (ANGLE CUT)	1
CC-8 6'-0" PANEL	1
CL-2 135'-10" RUNNING LENGTH	1



4
A5 STUCCO COLOR DETAIL
SCALE: 1/2"=1'-0"

EXTERIOR FINISH SCHEDULE

TAG	PRODUCT	MANUF.	PATTERN & COLOR	SUPPLIER/ CONTACT
FC-2	EXTRUDED ALUMINUM SIDING NOTE: SUBSTITUTE SIDING TO BE INSTALLED WITH ALUMABORD ALUMINUM TRIM PIECES, STARTER CLIPS & JOINTS (COLOR MATCH: LIGHT SUPER WIDE GRAIN)	LUMABUILT	SIZE: 6" NOMINAL SPACING WITH 1/4" REVEAL JOINTS. COLOR: LIGHT SUPER WIDE GRAIN (G.C TO TOUCH UP IN FIELD). PATTERN: STACKED AT VERTICAL BUMP OUTS AND STAGGERED AT HORIZONTAL BUMP OUTS. NOTE: SIDING TO BE REVIEWED AND APPROVED BY TH DESIGN	LUMABUILT CONTACT: LINDA SAVOIE TEL: 310-968-4551 EMAIL: LSAVOIE@LUMABUILT.COM APPROVED ALT. PARALLEL ARCHITECTURAL PRODUCTS COLOR: AMERICAN WHITE ASH HTTPS://PARALLELAP.COM/
FC-7	EIFS	STO CORP (OR APPROVED EQUAL)	130D STO STOLIT DARK + GLOSSY 37104 (MID GREY) NOTE: EIFS NOT TO BE INSTALLED IN DIRECT SUNLIGHT. CRITICAL NOTE: REVIEW AND FOLLOW MANUFACTURES INSTALL GUIDELINES CRITICAL	CONTACT: RAY REDMOND TEL: (616)437-2230 RREDMOND@STOCORP.COM
FC-8	EIFS	STO CORP (OR APPROVED EQUAL)	131 STOLIT 1.5 37108 (LIGHT GREY) CRITICAL NOTE: REVIEW AND FOLLOW MANUFACTURES INSTALL GUIDELINES CRITICAL	CONTACT: RAY REDMOND TEL: (616)437-2230 RREDMOND@STOCORP.COM
P-01	PAINT	SHERWIN WILLIAMS	COLOR: #SW7004 'SNOWBOUND' PRIMARY WALL PAINT FINISH: EGGSHELL. THE LIGHT COLOR EIFS GOES BEYOND THE PAINT STRIPES NOTE: FOR EIFS MUST USE DRYVIT DEMANDIT PMR ACRYLIC PAINT AS THE BASE WITH STRATATONE (FOR DARK COLORS) ADDITIVE. COLOR TO MATCH SHERWIN WILLIAMS	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-416-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
P-02	PAINT	SHERWIN WILLIAMS	COLOR: 'BLACK RED' CUSTOM 3007 NOTE: FOR EIFS MUST USE DRYVIT DEMANDIT PMR ACRYLIC PAINT AS THE BASE WITH STRATATONE (FOR DARK COLORS) ADDITIVE. COLOR TO MATCH SHERWIN WILLIAMS	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-416-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
P-08	EXTERIOR METAL PAINTS & METAL RAILING	SHERWIN WILLIAMS	PAINT FOR FASCIAS AND/OR EXTERIOR METALS (SOFFITS, TRIM, ETC.) TO MATCH SURROUNDING COLORS WHERE NECESSARY SHERWIN WILLIAMS 'IRON ORE SW7089' MIN. 2 COATS SPRAY APPLICATION NOTE: FOR EIFS MUST USE DRYVIT DEMANDIT PMR ACRYLIC PAINT AS THE BASE WITH STRATATONE (FOR DARK COLORS) ADDITIVE. COLOR TO MATCH SHERWIN WILLIAMS	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-416-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
P-11	PAINT	SHERWIN WILLIAMS	PRG ADS230103N CORAFLOX ADS INTERMIX COLOR: BLACK, STAIN SHEEN, SPRAY APPLICATION PAINT FOR EXTERIOR METAL (WINDOW FRAMES AND DOORS)	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-416-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
P-17	BOLLARD	SHERWIN WILLIAMS	COLOR: #SW6868 'REAL RED' MIN. 2 COATS SPRAY APPLICATION	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-416-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
P-26	EXTERIOR METAL PAINTS	SHERWIN WILLIAMS	*GRAY SCREEN SW7071* TO MATCH FC-8. MIN. 2 COATS SPRAY APPLICATION	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-416-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
MT-1	PREFINISHED METAL FLASHING	FIRESTONE BUILDING PRODUCTS	COLOR: MATTE BLACK *SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 61121 BLACK	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-416-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
WL-4	WALL SCONCES	VISO INC.	LED EXTERIOR WALL MOUNT UP/DOWN LIGHT, FINISH: RED	VISO EMAIL: TIMHORTONS@VISOINC.COM T: (416)-461-8476 EXT.112
	ANODIZED ALUMINUM (EXTERIOR STOREFRONT)	KAWNEER (OR APPROVED ALTERNATE PER SP)	KAWNEER TRIFAB VERSAGLAZE 451T, THERMALLY BROKEN 2"x4 1/2" WITH 1" INSULATED GLASS LOW E GLASS UNIT (BLACK ANODIZED) SWING DOORS KAWNEER 190 SERIES, SINGLE ACTING, NARROW STYLE DOORS WITH 1" TEMPERED, INSULATED GLASS AND 10" BOTTOM RAIL (BLACK ANODIZED)	KAWNEER CONTACT: CHERYL WILKERSON TEL: (770)449-5555 CHERYL.WILKERSON@ARCONIC.COM
	ANODIZED ALUMINUM (DRIVE-THRU WINDOW)	QUICKSERV	BI-PARTING WINDOW WITH 2 CENTERED MOVING PANELS AND 2 SIDELITES "PW-54E", COLOR: BRONZE ANODIZED.	CONTACT: INSIDE SALES CONTACT TEL: (713)849-5882
	C-CHANNEL PERIMETER INTEGRATED LIGHTING	LEKTRON BRANDING SOLUTIONS	CUSTOM LENGTH; COLOR: BLACK.	SUPPLIED BY F2 THROUGH TIM HORTONS SCHED A
	DRIVE-THRU CANOPY	SIGN VENDOR	ALPOLIC ACM TOB BLACK	

EXTERIOR ELEVATION NOTES

- PRE-FINISHED METAL CAP FLASHING C/W DRIP.
- G.C TO PROVIDE AND INSTALL DOUBLE LAYER OF REINFORCING MESH TO MIN. 2'-2" (TO MATCH THE SPANDREL HEIGHT ON THE LOWER WINDOWS AND THE COLOR TRANSITION) ABOVE GRADE AT ALL EIFS LOCATIONS (TYP.) IN ORDER TO ATTAIN ABUSE RESISTANCE STUCCO SYSTEM.
- PRE-FINISHED METAL FLASHING.
- EXTRUDED ALUMINUM SIDING. REFER TO EXTERIOR FINISH SCHEDULE.
- EIFS FC-8 TO EXTEND TO TOP OF PAINTED STRIPE. REFER TO EXTERIOR FINISH SCHEDULE.
- PRE-FINISHED 'BLACK ANODIZED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- EXPPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
- GAS UTILITY METER.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. 'COFFEE & BAKERY' SCRIPT LETTERS ARE "WHITE" BY DAYTIME AND ILLUMINATED WHITE AT NIGHTTIME. G.C TO PROVIDE AND INSTALL 3" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURERS APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE WHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY AOR PRIOR TO PRODUCTION.
- COOLER/FREEZER TO BE ORDERED WITH 22 GAUGE PAINT GRIP. GC TO COORD PAINTING AFTER INSTALLING TO AVOID OXIDATION OF UNIT.
- STAMP TO BE PURCHASED BY OWNER THROUGH SCHEDULE A: INSTALLED BY GC, (TOWN NAME TO BE SPECIFIED PER LOCATION).
- PROVIDE & INSTALL 6" DIAMETER STEEL PIPE BOLLARD AT DRIVE-THRU WINDOW. G.C. TO PAINT "RED". REFER TO EXTERIOR FINISH SCHEDULE.
- AUTOMATIC DRIVE THRU WINDOW C/W BODY SENSOR. REFER TO DRIVE-THRU SPECS ON SHEET A11.
- NO ENTRY DECAL BY SIGNAGE SUPPLIER. TO BE INSTALLED BY G.C.
- PRE-FINISHED MATTE BLACK GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- EXTERIOR RECYCLING UNIT SUPPLIED BY SCHEDULE A & INSTALLED BY G.C.
- DASHED LINE INDICATES U/S OF DECK BEHIND PARAPET.
- C/T CABINET/ DISCONNECT SWITCH AND ELECTRICAL METER.
- LINE OF PARAPET WALLS BEYOND.
- GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- EMERGENCY REM-2 LIGHTING (FINISH - SILVER). REFER TO ELECTRICAL DRAWINGS.
- NOT USED.
- KNOX BOX SUPPLIED AND INSTALLED BY G.C. TYPE AND LOCATION TBD BY LOCAL FIRE DEPARTMENT. G.C TO COORDINATE.
- ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
- HOSE BIB. G.C. TO PAINT. COLOR TO MATCH ADJACENT STUCCO COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- 1/2" X 1/2" REVEAL LINE IN STUCCO FINISH. REFER TO DETAIL 2/A7.2.
- G.C TO PROVIDE & INSTALL S/S KICK PLATES (AT BOTTOM PANELS) ON BOTH SIDES OF MAIN ENTRANCE DOORS & EXIT DOORS. REFER TO SHEET A11 FOR SPECS.
- G.C TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- ROOF MEMBRANE ON BACK OF PARAPET WALLS. REFER TO SPECIFICATIONS.
- HVAC UNITS AND EQUIPMENT MOUNTED ROOF SCREENS TO MATCH FC-7 (SHERWIN WILLIAMS: SW6235). REFER TO SPEC SECTION 10 24 00.
- CL-2 C-CHANNEL BAND FURNISHED BY THUSA VIA SCHEDULE A AND INSTALLED BY G.C., BRACKET SUPPORT, LED STRIP LIGHTS AND DRIVERS TO BE SUPPLIED BY SUPPLIER. G.C TO PROVIDE AND INSTALL PRE FINISHED BRACE METAL TRIM (COLOR: MATCH WINDOW FRAMES) BEHIND THE ENTIRE LENGTH OF C-CHANNEL AND WIDTH TO BE MATCH BAND SIZE (6'-5") REFER TO SHEET SP7 FOR CONTACT INFORMATION (COORDINATE WITH SUPPLIER)REFER TO SHEET DETAIL 2/A7 FOR INSTALLATION OF LED STRIP LIGHT AND C-CHANNEL PANEL SCHEDULE ON A5.
- OVERFLOW SCUPPER, SEE ROOF PLAN. INSTALL PER MANUF RECOMMENDATIONS
- EIFS FC-7, REFER TO EXTERIOR FINISH SCHEDULE.
- WALL SCONCE LIGHTING. REFER TO EXTERIOR FINISH SCHEDULE.
- SIGN FABRICATOR TO PROVIDE AND INSTALL (MIN. 8" HIGH) ADDRESS VINYL ADHESIVE. G.C. TO COORDINATE W/ SIGN FABRICATOR. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY TDL PRIOR TO PRODUCTION.
- SIGN FABRICATOR TO PROVIDE AND INSTALL 2'-0" DIAMETER TIM HORTONS VINYL ADHESIVE AS WELL AS INDIVIDUAL WHITE ADDRESS NUMBERS. G.C. TO COORDINATE WITH SIGN FABRICATOR. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY TDL PRIOR TO PRODUCTION.
- G.C. TO COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT/ LOCATION FOR BOLLARDS. G.C. TO PROVIDE 6" DIA. METAL BOLLARD FILL W/ CONCRETE AND PAINTED. G.C. TO PAINT "RED". REFER TO EXTERIOR FINISH SCHEDULE.
- CONCRETE SIDEWALK (BY G.C). REFER TO SITE PLAN.
- PREFABRICATED DRIVE-THRU CANOPY. G.C. TO ENSURE THE CANOPY IS ALIGNED WITH P-02 ACCENT STRIP.REFER TO EXTERIOR FINISH SCHEDULE FOR TYPE AND FINISH AND TO DETAIL 1/A7.2 FOR INSTALLATION. REFER TO STRUCTURAL DRAWINGS FOR CANOPY SUPPORT.
- GALVANIZED STEEL ROOF ACCESS LADDER TO BE PRIMED AND PAINTED.

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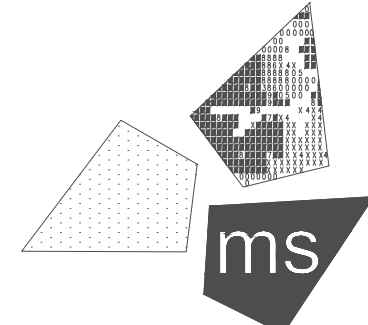
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	10/17/25	SD SUBMITTAL

REVISIONS

#	DATE	DESCRIPTION

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Tim Hortons

PROJECT:

ADDRESS
140 PROSPECT STREET
ATTICA, NY 14011
STORE #: 922066

STORE TYPE:

US WELCOME MODEL 2025: 1400-25

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT NO.:

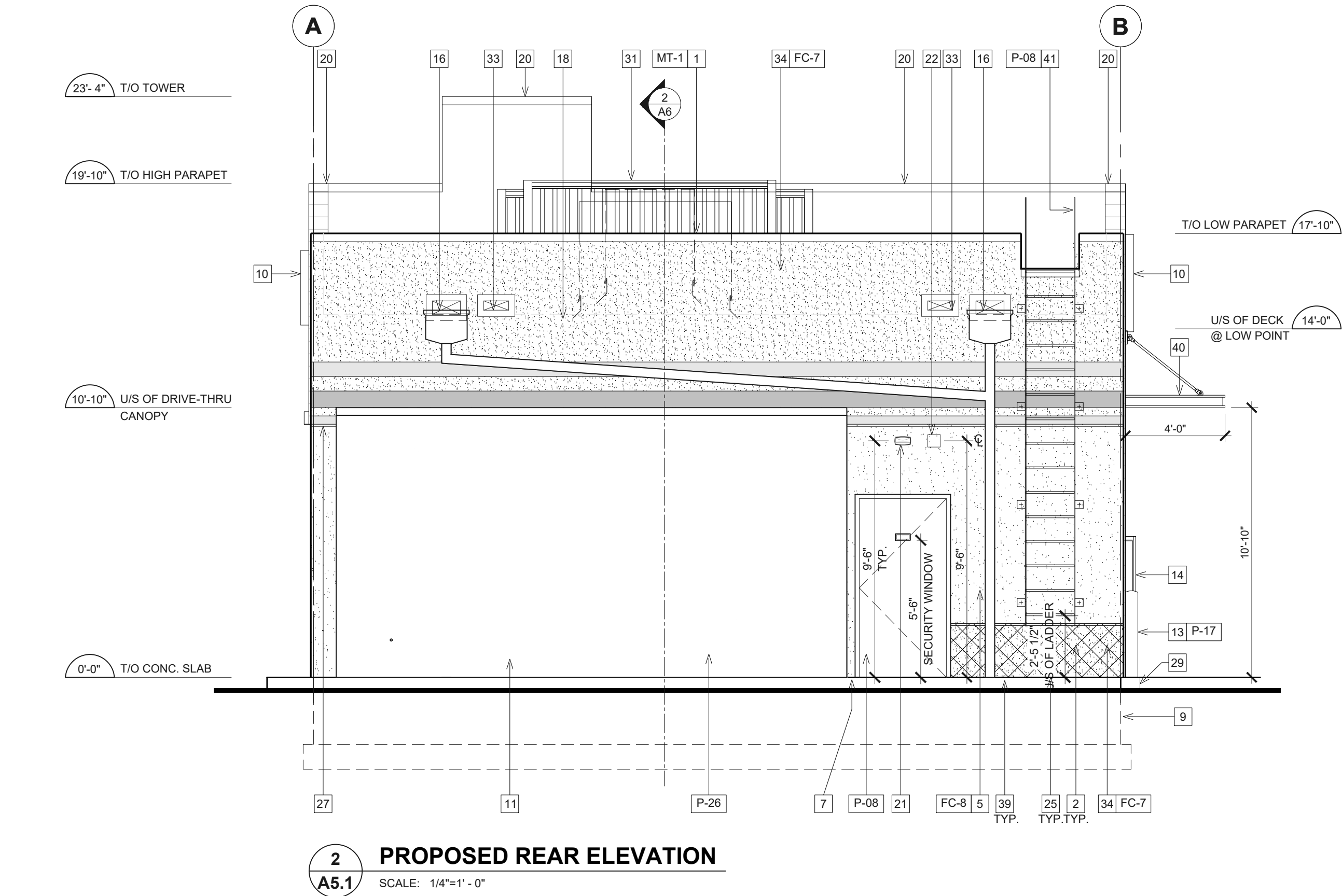
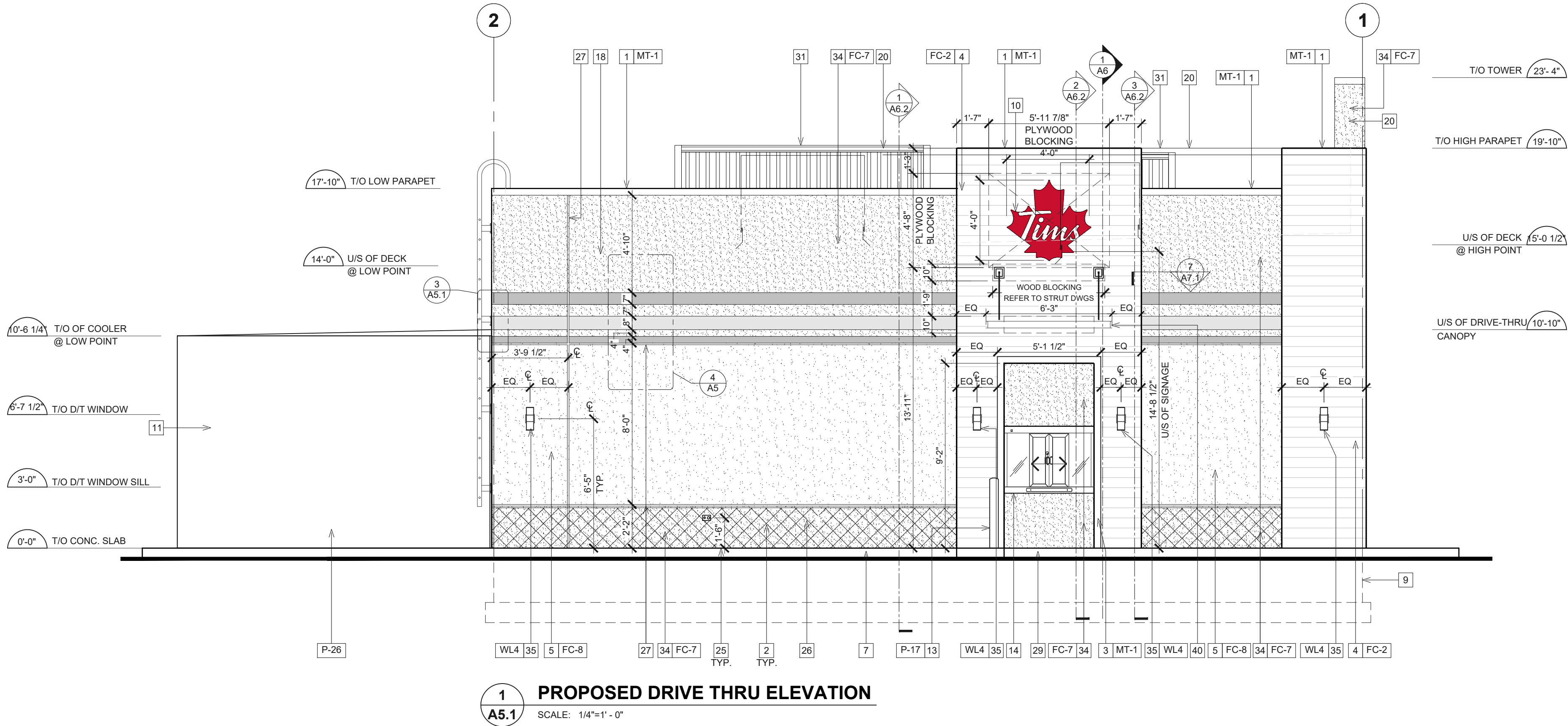
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SHEET TITLE:

**EXTERIOR
ELEVATIONS**

SHEET:

A5



GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOR: TO MATCH WINDOW / DOOR FRAMES.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

1	NOTE REFERENCE REFER TO ELEVATION NOTES
FN#	FINISH TYPE

EXTERIOR FINISH SCHEDULE

TAG	PRODUCT	MANUF.	PATTERN & COLOR	SUPPLIER/ CONTACT
FC-2	EXTRUDED ALUMINUM SIDING NOTE: SUBSTITUTE SIDING TO BE REVIEWED/APPROVED BY TH DESIGN	LUMABUILT	SIZE: 6" NOMINAL SPACING WITH 1/4" REVEAL JOINTS. COLOR: LIGHT SUPER WIDE GRAIN (G.C TO TOUCH UP IN FIELD). PATTERN: STACKED AT VERTICAL BUMP OUTS AND STAGGERED AT HORIZONTAL BUMP OUTS. NOTE: SIDING TO BE INSTALLED WITH ALUMBOARD ALUMINUM TRIM PIECES, STARTER CLIPS & JOINTS (COLOR MATCH: LIGHT SUPER WIDE GRAIN)	LUMABUILT CONTACT: LINDA SAVOIE TEL: 310-988-4551 EMAIL: LSAVOIE@LUMABUILT.COM APPROVED ALT. PARALLEL ARCHITECTURAL PRODUCTS COLOR: AMERICAN WHITE ASH HTTPS://PARALLELAP.COM/
FC-7	EIFS	STO CORP (OR APPROVED EQUAL)	130D STO STOLIT DARK + GLOSSY 37104 (MID GREY) NOTE: EIFS NOT TO BE INSTALLED IN DIRECT SUNLIGHT. CRITICAL NOTE: REVIEW AND FOLLOW MANUFACTURES INSTALL GUIDELINES CRITICAL	CONTACT: RAY REDMOND TEL: (616)437-2230 RREDMOND@STOCORP.COM
FC-8	EIFS	STO CORP (OR APPROVED EQUAL)	131 STOLIT 1.5 37108 (LIGHT GREY) CRITICAL NOTE: REVIEW AND FOLLOW MANUFACTURES INSTALL GUIDELINES CRITICAL	
P-01	PAINT	SHERWIN WILLIAMS	COLOR: #SW7004 'SNOWBOUND' PRIMARY WALL PAINT FINISH: EGGSHELL. THE LIGHT COLOR EIFS GOES BEYOND THE PAINT STRIPES NOTE: FOR EIFS MUST USE DRYVIT DEMANDIT PMR ACRYLIC PAINT AS THE BASE WITH STRATATONE (FOR DARK COLORS) ADDITIVE. COLOR TO MATCH SHERWIN WILLIAMS	SHERWIN WILLIAMS (NORTH AMERICA) CONTACT: DEAN GIVELAS TEL: 416-431-6975 EMAIL: DEAN.GIVELAS@SHERWIN.COM
P-02	PAINT	SHERWIN WILLIAMS	COLOR: 'BLACK RED' CUSTOM 3007 NOTE: FOR EIFS MUST USE DRYVIT DEMANDIT PMR ACRYLIC PAINT AS THE BASE WITH STRATATONE (FOR DARK COLORS) ADDITIVE. COLOR TO MATCH SHERWIN WILLIAMS	
P-08	EXTERIOR METAL PAINTS & METAL RAILING	SHERWIN WILLIAMS	PAINT FOR FASCIAS AND/OR EXTERIOR METALS (SOFFITS, TRIM, ETC.) TO MATCH SURROUNDING COLORS WHERE NECESSARY SHERWIN WILLIAMS 'IRON ORE SW7089' MIN. 2 COATS SPRAY APPLICATION NOTE: FOR EIFS MUST USE DRYVIT DEMANDIT PMR ACRYLIC PAINT AS THE BASE WITH STRATATONE (FOR DARK COLORS) ADDITIVE. COLOR TO MATCH SHERWIN WILLIAMS	
P-11	PAINT	SHERWIN WILLIAMS	PRG ADS230103N CORAFLOX ADS INTERMIX COLOR: BLACK, STAIN SHEEN, SPRAY APPLICATION PAINT FOR EXTERIOR METAL (WINDOW FRAMES AND DOORS)	
P-17	BOLLARD	SHERWIN WILLIAMS	COLOR: #SW6868 'REAL RED' MIN. 2 COATS SPRAY APPLICATION	
P-26	EXTERIOR METAL PAINTS	SHERWIN WILLIAMS	'GRAY SCREEN SW7071' TO MATCH FC-8. MIN. 2 COATS SPRAY APPLICATION	
MT-1	PREFINISHED METAL FLASHING	FIRESTONE BUILDING PRODUCTS	COLOR: MATTE BLACK SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 61121 BLACK	
WL4	WALL SCONCES	VISO INC.	LED EXTERIOR WALL MOUNT UP/DOWN LIGHT, FINISH: RED	VISO EMAIL: TIMHORTONS@VISOINC.COM T: (416)461-8476 EXT.112
	ANODIZED ALUMINUM (EXTERIOR STOREFRONT)	KAWNEER (OR APPROVED ALTERNATE PER SP)	KAWNEER TRIFAB VERSAGLAZE 451T, THERMALLY BROKEN 2"x4 1/2" WITH 1" INSULATED GLASS LOW E GLASS UNIT (BLACK ANODIZED) SWING DOORS KAWNEER 190 SERIES, SINGLE ACTING, NARROW STYLE DOORS WITH 1" TEMPERED, INSULATED GLASS AND 10" BOTTOM RAIL (BLACK ANODIZED)	KAWNEER CONTACT: CHERYL WILKERSON TEL: (770)449-5555 CHERYL.WILKERSON@ARCONIC.COM
	ANODIZED ALUMINUM (DRIVE-THRU WINDOW)	QUICKSERV	BI-PARTING WINDOW WITH 2 CENTERED MOVING PANELS AND 2 SIDELITES "PW-54E", COLOR: BRONZE ANODIZED.	CONTACT: INSIDE SALES CONTACT TEL: (713)849-5882
	C-CHANNEL PERIMETER INTEGRATED LIGHTING	LEKTRON BRANDING SOLUTIONS	CUSTOM LENGTH; COLOR: BLACK.	SUPPLIED BY F2 THROUGH TIM HORTONS SCHED A
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- C/T CABINET/ DISCONNECT SWITCH AND ELECTRICAL METER.
- LINE OF PARAPET WALLS BEYOND.
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- EMERGENCY REM-2 LIGHTING (FINISH - SILVER). REFER TO ELECTRICAL DRAWINGS.
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- KNOX BOX SUPPLIED AND INSTALLED BY G.C. TYPE AND LOCATION TBD BY LOCAL FIRE DEPARTMENT. G.C TO COORDINATE.
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- HOSE BIB. G.C. TO PAINT. COLOR TO MATCH ADJACENT STUCCO COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- 1/2" X 1/2" REVEAL LINE IN STUCCO FINISH. REFER TO DETAIL 2/A2.2.
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- G.C TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- ROOF MEMBRANE ON BACK OF PARAPET WALLS. REFER TO SPECIFICATIONS.
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- GALVANIZED STEEL ROOF ACCESS LADDER TO BE PRIMED AND PAINTED.

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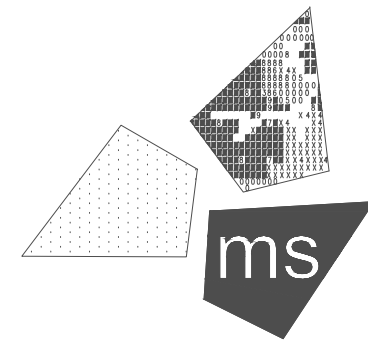
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Tim Hortons

PROJECT:

ADDRESS
140 PROSPECT STREET
ATTICA NY 14011
STORE #: 922066

STORE TYPE:

US WELCOME MODEL 2025: 1400-25

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT NO.:

40509-66

SHEET TITLE:

**EXTERIOR
ELEVATIONS**

SHEET:

A5.1

Phase I Environmental Site Assessment

Proposed Tim Hortons Attica, NY

140 Prospect Street

Attica, Genesee County, NY

September 5, 2025 | Terracon Project No. JA257020

Prepared for:

MS Consultants Inc
425 Literary Road, Suite 100
Cleveland, OH

Prepared by:

Terracon Consultants - NY, Inc.
Buffalo, New York



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September 5, 2025

MS Consultants, Inc
425 Literary Road, Suite 100
Cleveland, OH 44113

Attn: Kevin Drozin
E: kdrozin@msconsultants.com

Re: Phase I Environmental Site Assessment
Tim Horton's- Attica Phase I ESA
140 Prospect Street
Attica, Genesee County, New York
Terracon Project No. JA257020

Dear Mr. Drozin:

Terracon Consultants - NY, Inc. (Terracon) is pleased to submit the enclosed Phase I Environmental Site Assessment (ESA) report for the above-referenced subject property (hereinafter known as the 'site'). This assessment was performed in accordance with Terracon's Agreement for Services (AFS) between Terracon and MS Consultants, dated June 9, 2025.

We appreciate the opportunity to be of service to you on this project. If there are any questions regarding this report or if we may be of further assistance, please do not hesitate to contact us.

Sincerely,

Terracon Consultants - NY, Inc.

A handwritten signature in black ink that reads 'Matthew Yager'.

Matthew Yager
Assistant Geologist

A handwritten signature in black ink that reads 'Amanda G. Lofink'.

Amanda G. Lofink
Department Manager

Attachments

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APPENDIX B	Site Photographs
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Executive Summary

This Phase I Environmental Site Assessment (ESA) was performed in accordance with Terracon's Agreement for Services Agreement (AFS) between Terracon and MS Consultants dated June 9, 2025, and was conducted consistent with the procedures included in ASTM E1527-21, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process*. The purpose of this ESA was to assist the client in developing information to identify RECs in connection with the site as reflected by the scope of this report. The ESA was conducted under the supervision or responsible charge of Amanda G. Lofink, Environmental Professional. Matthew Yager performed the site reconnaissance on June 24, 2025.

Findings and Opinions

A summary of the findings is provided below. It should be recognized that details were not included or fully developed in this section, and the report must be read in its entirety for a comprehensive understanding of the items contained herein.

Site Description and Use

According to the Genesee County Tax Assessor, site observations, and information provided by the Client, the site is part of a larger parcel located at 150 Prospect Street, in Attica, New York identified as tax parcel 3.-2-3.1 currently owned by 570 DAB 27, LLC. The site consists of a vacant paved parking lot in the southeast corner of the parcel. Please refer to Exhibit 2 in Appendix A for a diagram of the site.

Historical Information

Based on a review of historical documentation, the site consisted of agricultural or vacant land from at least 1905 to 1963. Between 1963 and 1970, the site was paved and an approximately 4,000 square foot building was constructed on the east side of the site. Between the construction of the building until 1998, the building occupant was unknown. According to historical city directories, from 1998 to 2003, JR's Coin Laundry occupied the building. From 2007 until the building's demolition between 2015 and 2017, the building appeared to be unoccupied. From 2017 to 2025, the site has been a paved parking lot with no buildings.

The site is located on the south side of a larger, 5.5-acre parent parcel, currently owned by 570 DAB 27, LLC, a subsidiary of Benderson Development LLC (Benderson). The parent parcel was agricultural or vacant land from at least 1905 to 1954. Between 1954 and 1963, the northern part of the parcel was paved, and an approximately 30,000 square foot building was constructed. In 1959, the parcel was leased to Super-Duper, Inc. with the intention of opening a supermarket on the parcel. Super-Duper leased the

parcel until 1971, when they decided to purchase the land. Between 1981 and 1985, an addition was built onto the south side of the building. The site was sold to Supermarket Development Inc., a subsidiary of Benderson, in 1985. In 1987, a Family Dollar opened on the site in the same building as the supermarket. The Family Dollar has remained on site through 2025. From 1998-2003, the building on the parent parcel was a Jubilee Foods. From 2007 to 2025, the building has been occupied by Tops Friendly Market, a supermarket chain.

A review of the historical site information did not indicate the storage of chemicals or petroleum, and no indication of a release on the site was identified. While the site occupant of the on-site building was unknown, the leasers or owners of the parent parcel were supermarket companies throughout the building's existence. Therefore, historical information does not constitute as a recognized Environmental Condition (REC).

Records Review

The site was not identified on any state or federal database searched by ERIS. The parent parcel was identified on various databases; however, based on the current regulatory status, the properties on this parcel are not considered to be a REC at this time. The southern adjoining property was identified on two databases; however, based on the current regulatory status, these facilities are not considered to be a REC to the site. The remaining facilities listed in the database report do not constitute RECs associated with the site at this time based upon regulatory status, apparent topographic gradient, and/or distance from the site.

Site Reconnaissance

The site consisted of an asphalt paved parking lot during the site reconnaissance. A stormwater catch basin was observed on the site. RECs were not identified in connection to the observed site features.

Adjoining Properties

The site is located in a mixed-use area in Attica, New York. The Tops Markets grocery store lot identified on the parent parcel adjoins the site to the north. Attica Wastewater Treatment Plant adjoins the site to the southeast, and a Burger King restaurant adjoins to the south. The site is adjoined by Prospect Street followed by a Citgo Gasoline Station and a former Rite-Aid to the west. RECs were not observed based on the visual observations of the adjoining properties.

Significant Data Gaps

Significant data gaps (SDGs) were not identified.

Additional Services

Per the agreed scope of services, additional services as outlined in the proposal, including items described in Section 13.0 (Non-Scope Considerations) of ASTM E1527-21, were not conducted.

Conclusions

We have performed a Phase I ESA consistent with the procedures included in ASTM Practice E1527-21 at 140 Prospect Street, Attica, Genesee County, New York, the site. RECs, Controlled RECs (CRECs) and/or SDGs were not identified in connection with the site.

Recommendations

Based on the scope of services, limitations, and conclusions of this assessment, Terracon did not identify RECs, CRECs, or SDGs in connection with the site. As such, no additional investigation is warranted at this time.

1.0 Introduction

1.1 Site Description

Site Name	Proposed Tim Hortons
Site Location/Address	140 Prospect Street, Attica, Genesee County, New York
Parcel Number	3.-2-3.1
Land Area	The site consists of approximately 0.5-acres of a larger 5.5-acre parent parcel
Site Improvements	The site is currently a paved parking lot
Anticipated Future Site Use	Potential new restaurant
Reason for the ESA	Ground lease

The location of the site is depicted on Exhibit 1 of Appendix A, which was reproduced from a portion of the United States Geological Survey (USGS) 7.5-minute series topographic map. The site and adjoining properties are depicted on the Site Diagram, which is included as Exhibit 2 of Appendix A.

1.2 Scope of Services

This Phase I Environmental Site Assessment (ESA) was performed in accordance with Terracon's Agreement for Services (AFS) between Terracon and MS Consultants, dated June 9, 2025, and was conducted consistent with the procedures included in ASTM E1527-21, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process*. The purpose of this ESA was to assist the client in developing information to identify RECs in connection with the site as reflected by the scope of this report. Recognized environmental conditions are defined by ASTM E1527-21 as "(1) the presence of hazardous substances or petroleum products in, on, or at the subject property due to a release to the environment; (2) the likely presence of hazardous substances or petroleum products in, on, or at the subject property due to a release or likely release to the environment; or (3) the presence of hazardous substances or petroleum products in, on, or at the subject property under conditions that pose a material threat of a future release to the environment." This ESA includes consideration of the movement of hazardous substances and petroleum products in any form, including migration of vapor in the subsurface. A de minimis condition is not a recognized environmental condition.

This purpose was undertaken through user-provided information, a regulatory database review, historical and physical records review, interviews (including local government inquiries, as applicable), and a visual noninvasive reconnaissance of the site and

adjoining properties. Limitations, ASTM deviations, and significant data gaps (if identified) are noted in the applicable sections of the report.

Review of Perfluoroalkyl and Polyfluoroalkyl Substances (PFAS)

PFAS are a family of compounds which are considered emerging contaminants of concern due to their mobility and longevity in the environment. PFAS has been used in many products, including but not limited to fire-fighting foam, anti-stick coatings, stain and water-repellent coatings, electroplating, and paper products, among others. On July 8, 2024, US EPA designated two PFAS compounds, perfluorooctanoic acid (PFOA) and perfluorooctanesulfonic acid (PFOS), including their salts and structural isomers, as hazardous substances under CERCLA; accordingly, PFOA and PFOS was evaluated within the scope of E1527-21. Please note that PFAS compounds are ubiquitous in the environment and this limited review is not to be construed as confirmation that PFAS compounds are not present in, at or under the site.

1.3 Standard of Care

This ESA was performed in accordance with generally accepted practices of this profession, undertaken in similar studies at the same time and in the same geographical area. We have endeavored to meet this standard of care, but may be limited by conditions encountered during performance, a client-driven scope of work, or inability to review information not received by the report date. Where appropriate, these limitations are discussed in the text of the report, and an evaluation of their significance with respect to our findings has been conducted.

Phase I ESAs, such as the one performed at this site, are of limited scope, are noninvasive, and cannot eliminate the potential that hazardous, toxic, or petroleum substances are present or have been released at the site beyond what is identified by the limited scope of this ESA. In conducting the limited scope of services described herein, certain sources of information and public records were not reviewed. It should be recognized that environmental concerns may be documented in public records that were not reviewed. No ESA can wholly eliminate uncertainty regarding the potential for RECs in connection with a property. Performance of this practice is intended to reduce, but not eliminate, uncertainty regarding the potential for RECs. No warranties, express or implied, are intended or made. The limitations herein must be considered when the user of this report formulates opinions as to risks associated with the site or otherwise uses the report for any other purpose. These risks may be further evaluated – but not eliminated – through additional research or assessment. We will, upon request, advise you of additional research or assessment options that may be available and associated costs.

1.4 Additional Scope Limitations, ASTM Deviations, and Data Gaps

Based upon the agreed-on scope of services, this ESA did not include subsurface or other invasive assessments, vapor intrusion assessments or indoor air quality assessments (i.e., evaluation of the presence of vapors within a building structure), business environmental risk evaluations, or other services not particularly identified and discussed herein. Credentials of the company (Statement of Qualifications) have not been included in this report but are available upon request. Pertinent documents are referred to in the text of this report, and a separate reference section has not been included. Reasonable attempts were made to obtain information within the scope and time constraints set forth by the client; however, in some instances, the information requested is not, or was not, received by the issuance date of the report. Information obtained for this ESA was received from several sources that we believe to be reliable; nonetheless, the authenticity or reliability of these sources cannot and is not warranted hereunder. This ESA was further limited by the following:

- Reasonable attempts were made to New York State Department of Environmental Conservation (NYSDEC), Genesee County, and the Town of Attica; however, at the issuance of this report, responses from the above listed agency have not been received. Based on the information available for review on the site, the lack of response is not considered a significant data gap.
- The occupants of the building on the site were unknown between 1963 and 1998. This constitutes a significant data gap.

An evaluation of the significance of limitations and missing information with respect to our findings has been conducted, and where appropriate, significant data gaps are identified and discussed in the text of the report. However, it should be recognized that an evaluation of significant data gaps is based on the information available at the time of report issuance, and an evaluation of information received after the report issuance date may result in an alteration of our conclusions, recommendations, or opinions. We have no obligation to provide information obtained or discovered by us after the issuance date of the report, or to perform any additional services, regardless of whether the information would affect any conclusions, recommendations, or opinions in the report. This disclaimer specifically applies to any information that has not been provided by the client.

This report represents our service to you as of the report date and constitutes our final document; its text may not be altered after final issuance. Findings in this report are based upon the site's current utilization, information derived from the most recent reconnaissance and from other activities described herein; such information is subject to change. Certain indicators of the presence of hazardous substances, petroleum products or PFAS compounds may have been latent, inaccessible, unobservable, or not present during the most recent reconnaissance and may subsequently become observable (such

as after site renovation or development). Further, these services are not to be construed as legal interpretation or advice.

1.5 Reliance

This ESA report is prepared for the exclusive use and reliance of MS Consultants, Inc. Use or reliance by any other party is prohibited without the written authorization of MS Consultants, Inc and Terracon Consultants, Inc. (Terracon).

Reliance on the ESA by the client and all authorized parties will be subject to the terms, conditions and limitations stated in the proposal, ESA report, and Terracon's Agreement. The limitation of liability defined in the Agreement is the aggregate limit of Terracon's liability to the client and all relying parties.

Continued viability of this report is subject to ASTM E1527-21 Section 4.6. If the ESA will be used by a different user (third party) than the user for whom the ESA was originally prepared, the third party must also satisfy the user's responsibilities in Section 6 of ASTM E1527-21.

1.6 Client Provided Information

Prior to the site visit, the client was asked to provide the following user questionnaire information as described in ASTM E1527-21 Section 6.

Client Questionnaire Responses

Client Questionnaire Item	Client Did Not Respond	Client's Response		
		N/A*	Yes	No
Actual Knowledge of Environmental Liens that may encumber the site.				X
Actual Knowledge of Activity Use Limitations (AULs) that may encumber the site.				X
Specialized Knowledge or Experience that is material to a REC in connection with the site.				X
Actual Knowledge of a Lower Purchase Price because contamination is known or believed to be present at the site.				X
Commonly Known or Reasonably Ascertainable Information that is material to a REC in connection with the site.				X
Obvious Indicators of Releases at the site.				X

*N/A = Not Applicable

The client provided their questionnaire responses which have been recorded in the table above.

2.0 Physical Setting

Physical Setting Information		Source
Topography		
Site Elevation	Approximately 960 feet above sea level	USGS Topographic Map, Attica, New York (2019) Quadrangles (Appendix A)
Topographic Gradient	Steep sloping to the southeast	
Closest Surface Water	Tonawanda Creek, located approximately 450 feet to the east of the site.	
Soil Characteristics		
Soil Type	Chenango channery silt loam (ChB)	ESRI, Maxar, Earthstar Geographics, and the GIS User Community
Description	ChB – Soils in this group have low runoff potential when thoroughly wet. Water is transmitter freely through the soil.	
Geology/Hydrogeology		
Formation	Genesee Group (Dg)	USGS Geological Map of New York ESRI, Maxar, Earthstar Geographics, and the GIS User Community
Description	This formation consists of major components of West River Shale, Genundewa Limestone, Penn Yan & Geneseo Shales, and North Evans Limestone.	
Estimated Depth to First Occurrence of Groundwater	Approximately 5 feet below ground surface (bgs)	ERIS database and topographic maps
*Hydrogeologic Gradient	Not known - may be inferred to be parallel to topographic gradient (primarily to the southeast).	

* The groundwater flow direction and the depth to shallow, unconfined groundwater, if present, would likely vary depending upon seasonal variations in rainfall and other hydrogeological features. Without the benefit of on-site groundwater monitoring wells surveyed to a datum, groundwater depth and flow direction beneath the site cannot be directly ascertained.

3.0 Historical Use Information

Terracon reviewed the following historical sources to develop a history of the previous uses of the site and surrounding area. Copies of selected historical documents are included in Appendix C.

3.1 Historical Topographic Maps, Aerial Photographs, and Sanborn Maps

Readily available historical USGS topographic maps, selected historical aerial photographs (at approximately 10-to-15-year intervals) and historical fire insurance maps produced by the Sanborn Map Company were reviewed to evaluate land development and obtain information concerning the history of development on and near the site. Reviewed historical topographic maps, aerial photographs, and Sanborn maps are summarized below.

Historical fire insurance maps produced by the Sanborn Map Company were requested from ERIS to evaluate past uses and relevant characteristics of the site and surrounding properties; however, Sanborn Maps were not identified for the site address.

■ Topographic maps:

- USGS: Attica, New York, dated **1905, 1949, 1951, 1978, 2013, 2016, 2019** (1" = 2,000')

■ Aerial photographs:

- Agricultural Stabilization & Conservation Service (ASCS): **1938, 1954, 1963** (1" = 500')
- National Aeronautics and Space Administration (NASA): **1970** (1" = 500')
- USGS: **1981, 1985, 1990, 1995** (1" = 500')
- US Department of Agriculture (USDA): **2006, 2008, 2009, 2011, 2013, 2015, 2017, 2019, 2021, 2022** (1" = 500')
- Maxar Technologies: **2023** (1" = 500')

Historical Maps and Aerial Photographs

Direction	Description
Site	<p>1905- 1954: The site consists of agricultural/undeveloped land.</p> <p>1963: The site is developed as a paved parking area.</p> <p>1970-2015: The site is developed with a small building on the east side of the site. The remaining area is a paved parking area.</p> <p>2017-2023: The building had been demolished and paved over by 2017. No significant changes were observed through 2023.</p>
North (Parent parcel)	<p>1905-1954: The northern adjoining property (parent parcel) consists of agricultural/undeveloped land.</p> <p>1963-1981: The parent parcel to the north is depicted as a paved parking area and a large retail building to the northeast of the site.</p> <p>1981-1985: An addition is added onto the building.</p> <p>1985-2023: No significant changes were observed to the parent parcel.</p>
East	<p>1905-1954: The eastern adjoining property consists of agricultural/undeveloped land.</p> <p>1963-1981: The adjoining property to the southeast of the site is depicted as having two small square buildings on unpaved land.</p> <p>1985-1995: The adjoining property to the southeast of the site is depicted as a wastewater treatment facility made up of one large square building, three smaller square buildings, and two dome-shaped buildings. The property also appears to contain two large clarifiers for water filtration at the south side of the parcel. The northwest part of the property, which is closest to the site, appears to consist of grass.</p> <p>2006-2023: The large building on the property appeared to be demolished and a new building to the north was constructed. No significant changes were observed through 2023.</p>
South	<p>1905-1985: The southern adjoining property consists of agricultural/undeveloped land.</p> <p>1990-2023: The property adjoining the site to the south appeared to be paved and had a small building constructed on the land between 1985 and 1990. No significant changes were observed through 2023.</p>
West	<p>1905-1954: The western adjoining property consists of a road (Prospect St. as of 2025) and agricultural/undeveloped land.</p> <p>1963-1995: The area is made up of Prospect St., which adjoins the site, and two small retail buildings with paved parking areas to the west of Prospect St.</p> <p>1995-2023: The buildings to the west and northwest of the site were both demolished and replaced with small commercial buildings. The building directly to the west of the site appears to be a gas station with active gasoline pumps. No significant changes were observed through 2023.</p>

The site consisted of agricultural land from at least 1905 to approximately 1963. It should be noted that based on the potential agricultural usage of the site, pesticides and

herbicides may have been used historically. A review of the historical site information did not indicate the storage of chemicals or petroleum, and no indication of a release on the site was identified. Therefore, the historical agricultural activities at the site are not considered a REC at this time. Terracon reviewed the above historical sources for indications of RECs associated with the site. RECs associated with the site were not identified through a review of available historical resources.

3.2 Historical City Directories

The Digital Business Directory, used in this study, were made available through ERIS (selected years reviewed: 1998 through 2024) and were reviewed at approximate five-year intervals, if readily available. The current street address for the site was identified as 140 Prospect Street but was formerly identified as 124 Prospect Street.

Historical City Directories

Direction	Description
Site	<u>124 Prospect Street:</u> JR's Coin Laundry (1998-2003), Not listed (2007-2024)
North (Parent Parcel)	<u>150 Prospect Street:</u> Not listed (1998); Jubilee Foods (2000-2003); Tops Friendly Markets (2007-2024) <u>152 Prospect Street:</u> Not listed (1998); Family Dollar (2000-2024)
South	<u>130 Prospect Street:</u> Burger King Restaurant (1998-2024) <u>120 Prospect Street:</u> Attica Pet Clinic (1998-2024) <u>116 Prospect Street:</u> Attica Veterinary Associates (1998); Step-By-Step Physical Therapy (2003-2024)
East	<u>122 Prospect Street:</u> Not listed (1998); Attica Waste Water Plant (2000-2024)

Direction	Description
West	<p><u>151 Prospect Street:</u> Cornerstone Restaurant (1998); Attica Bowling Center (1998) Lanes Attica (2000); Myron's Citgo (2003); Citgo (2007-2024); Subway (2007-2020); John Mary's (2023-2024)</p> <p><u>153 Prospect Street:</u> Rite Aid Pharmacies (2000-2024)</p> <p><u>125 Prospect Street:</u> Not listed (2000-2003); Coastal Full-Service Gas (1998); Upstate Auto Chrysler Dodge Jeep Ram (2007-2024)</p> <p><u>121 Prospect Street:</u> A/C Associates (1998-2024), Complete Travel Connection (1998-2000); Sandra Ann's Hair Salon (1998-2024); Twin County Car Wash, Laundromat, and Dry Cleaning (1998-2003); Itsy Bitsy Daycare (2000), Vide-o-world (2000-2003), Prospector Restaurant (2000-2016), Pepperonee and Stuff (2000-2003), Attica-Alexander Self Storage (2000-2024), Radio Shack (2003), American Heritage Homes (2007), Curves (2007-2024), Little Sicily Pizzeria (2007-2024), Prospect Square DVD (2007-2024), Prospect Square Laundromat (2007-2011), Pizza Pit (2011), Little Rascals Childcare Center (2011), Ms. Jean's Child Care (2016-2024), Dan Killelea Law Office (2016-2024)</p>

Terracon reviewed the above historical city directories for indications of RECs associated with the site. The adjoining property identified as 120, 121, 122, 125, 130, 150, 151, 152, and 153 were located on one or more databases discussed further in Section 4.1. RECs associated with the site were not identified through a review of available historical city directories.

3.3 Site Ownership

Based on a review of information obtained from the County assessor's records, the current site owner is 570 DAB 27, LLC. Previous owners of the parent parcel include William A. Kirsch (1901-1903), Frank J. Ess (1903-1949), Mildred H. Reisdorf (1949-1953), Arlon G. Waite (1953) E. Milner Harding (1958-1971), S.M. Flickinger Co, Inc. (1971-1973), JL-CW, Inc. (1973), John L. Sellstrom (1973-1984), Eugene F. Bellis (1984-1985), 409 Niagara Street Associates (1985), Supermarket Development Inc. (1985-1987), and 570 DAB 27 (2025). Supermarket Development Inc. and 570 DAB 27 are both subsidiaries of Benderson Development LLC.

The site owner information reviewed is included in Appendix D.

3.4 Title Search

A title search, which includes an Abstract of Title by Ticor Title Insurance Company from 2000, was conducted as part of the scope of services, which is included in Appendix D.

3.5 Environmental Liens and Activity and Use Limitations

The ERIS regulatory database report included a review of both Federal and State Engineering Control (EC) and Institutional Control (IC) databases. Based on a review of the database report, the site was not listed on the EC or IC databases.

Please note that in addition to these federal and state listings, AULs can be recorded at the county and municipal level that may not be listed in the regulatory database report. Environmental lien and activity and use limitation records recorded against the site were not provided by the client. At the direction of the client, performance of a review of these records was not included as part of the scope of services and unless notified otherwise, we assume that the client is evaluating this information outside the scope of this report.

3.6 Interviews Regarding Current and Historical Site Uses

The following individuals were interviewed regarding the current and historical use of the site.

Interviews

Interviewer	Name / Phone #	Title	Date/Time
Matthew Yager	Adam Harris / (716)-342-6298	Senior Project Manager- Benderson Development	09/05/2025- 9:15am

Terracon interviewed Mr. Adam Harris, Senior Project Manager with Benderson Development, following the site reconnaissance. Mr. Harris indicated that he had some familiarity with the site. He stated that he was not aware of any environmental issues concerning the site, including spills, releases, or underground or above ground storage tanks. He had no knowledge of Environmental Liens that may encumber the site and told Terracon there were no Activity Use Limitations (AULs) hampering possible uses of the site. Mr. Harris was not aware of any pending, threatened, or past environmental litigation, notices of potential violations of environmental law, notices of possible liability, or notices of potential environmental concerns in connection with the site.

3.7 Prior Report Review

Terracon requested the client provide any previous Report Types selection they are aware of for the site. Previous reports were not provided by the client to Terracon for review.

4.0 Records Review

Regulatory database information was provided by ERIS, a contract information services company in a report dated July 1, 2025. The purpose of the records review was to identify RECs in connection with the site. Information in this section is subject to the accuracy of the data provided by the information services company and the date at which the information is updated. The scope herein did not include confirmation of facilities listed as "unmappable" by regulatory databases.

In some of the following subsections, the words upgradient, cross gradient, and downgradient refer to the topographic gradient in relation to the site. As stated previously, the groundwater flow direction and the depth to shallow groundwater, if present, would likely vary depending upon seasonal variations in rainfall and the depth to the soil/bedrock interface. Without the benefit of on-site groundwater monitoring wells surveyed to a datum, groundwater depth and flow direction beneath the site cannot be directly ascertained.

4.1 Federal and State/Tribal Databases

Terracon reviewed standard federal, state, and tribal environmental record sources within the approximate minimum search distances as required by ASTM E1527-21 and presented in Table 2 of Section 8.0 of The Standard (Types of Government Records to be Reviewed). Further, to enhance and supplement the standard environmental record sources, Terracon reviewed additional federal, state, tribal, local, and proprietary environmental record sources, provided by the database firm, if potentially useful and reasonably ascertainable. Please refer to Appendix D (the environmental regulatory database report) for the number of listings within each database reviewed and database definitions and descriptions.

Due to conversion of address data to location coordinates and the accuracy of government records, the facility locations depicted in the environmental regulatory database report may not match actual physical locations. As such, Terracon attempted to field-verify the actual distances of facilities of concern from the site.

The following table summarizes the site-specific information provided by the database and/or gathered by this office for identified facilities within 500 feet of the site. Facilities are listed in order of proximity to the site. Additional discussion for selected facilities follows the summary table.

Listed Facilities

Facility Name and Location	Estimated Distance / Direction / Gradient	Database Listings	Findings Summary
Burger King – 130 Prospect St	Adjoining / South / Cross gradient	NY SPILLS, ALT FUELS	Not a REC, see discussion below
Attica Citgo – 151 Prospect St	Approximately 177 feet / West / Upgradient	UST, NY SPILLS, RCRA SQG, NY MANIFEST	Not a REC, see discussion below
Rite Aid #1621 – 153 Prospect Road	Approximately 206 feet / WNW / Upgradient	RCRA VSQG, GEN MANIFEST	Not a REC, see discussion below
Spink Veterinary Associates - 120 Prospect St	Approximately 229 feet / SSW / Downgradient	UST	Not a REC, see discussion below
Attica Wastewater Treatment Plant– 122 Prospect St	Approximately 234 feet / SE / Downgradient	UST, CBS, SWF/LF, TIER 2	Not a REC, see discussion below
Family Dollar Store – 152 Prospect St	Approximately 290 feet / NE / Downgradient	RCRA VSQG, GEN MANIFEST	Not a REC, see discussion below
Genesee Farms- Prospect St & Route 98	Approximately 333 feet / North / Upgradient	RCRA NON GEN, UST, NY SPILLS, GEN MANIFEST,	Not a REC, see discussion below
Attica Land Inc / Coastal Oil of Attica / Super Duper Gas Station / Upstate Chrysler Dodge Jeep Ram – 125 Prospect St	Approximately 344 feet / WSW / Cross gradient	NY SPILLS, RCRA NON GEN, AST, UST, LST, GEN MANIFEST	Not a REC, see discussion below

Burger King (130 Prospect Street)- This facility, which adjoins the site to the south and is topographically cross gradient to the site, is identified on the NY SPILLS database and ALT FUELS database. The facility is on the NY SPILLS database for an incident in 2003 when a garbage truck's hydraulic hose broke, leaking approximately four gallons of fluid onto the blacktop. The spill was cleaned up and closed in 2003. The facility is also on the ALT FUELS database for the use of electric fuel. Based on the current regulator status, these facility listings do not constitute as a REC to the site.

Attica Citgo (151 Prospect St)- This facility, which is approximately 177 feet from the site to the west and is located upgradient of the site, is identified on the UST, NY SPILLS, RCRA SQG, and NY MANIFEST databases.

The facility is on the UST database for the presence of a 3,000-gallon fiberglass reinforced plastic (FRP) tank containing gasoline, a 12,000-gallon FRP tank containing

gasoline, and a 6,000-gallon FRP tank containing diesel fuel installed in 2021. Multiple USTs were removed from the site in 2021. Based on the tanks being relatively new and that there have been no reported leaks, this does not constitute as a REC to the site.

This facility is on the NY SPILLS database for a spill that occurred in 2019 when four out of five sumps failed a visual inspection. No contamination was found inside or outside of the sumps. This led to the USTs to be replaced in 2021. Soil sampling was completed in 2022, and it was determined there was no petroleum contamination found. Based on this information, this facility listing does not constitute as a REC to the site.

This facility is on the RCRA SQG and NY MANIFEST databases. As of January 2025, there have been no Compliance Monitoring and Enforcement (CME) records associated with either RCRA SQG or GEN MANIFEST. Based on this information, these facility listings do not constitute as RECs to the site.

Rite Aid #1621 (153 Prospect St)- This facility is approximately 206 feet to the west northwest of the site and is topographically upgradient from the site. It is identified on the RCRA VSQG and GEN MANIFEST databases. Based on the RCRA VSQG and GEN MANIFEST databases having no associated CME records, these facility listings do not constitute as RECs to the site.

Spink Veterinary Associates (120 Prospect St)- This facility located approximately 229 feet to the south of the site and is downgradient of the site is identified on the UST database for a 500-gallon tank containing gasoline, which was removed in 1991. Based on the tank being removed in 1991, having a closed regulatory status and this property being located downgradient from the site, this facility listing does not constitute as a REC to the site.

Attica Wastewater Treatment Plant (122 Prospect St)- This facility is located approximately 234 feet to the southeast of the site and is downgradient of the site. It is identified on the UST, CBS, SWF/LF, and TIER 2 databases.

The facility is on the UST database for two tanks: a 550-gallon fuel oil tank and a 2,000-gallon fuel oil tank. Both tanks were removed in 1999. Based on both tanks being removed in 1999, given a closed regulatory status, and since the facility is downgradient of the site, this facility listing does not constitute as a REC to the site.

This facility is on the CBS database for the storage of bulk chemicals. Based on the fact this facility is located downgradient and over 200 feet away from the site, this facility listing does not constitute as a REC to the site.

This facility is on the SWF/LF database for composting biosolids. Based on the facility being located over 200 feet from and downgradient of the site, this facility listing does not constitute as a REC to the site.

This facility is on the TIER 2 database for the storage of potentially hazardous materials. Based on the facility being over 200 feet away and downgradient of the site, and since there is no evidence of regulatory violations or a release of materials, this facility listing does not constitute as a REC to the site.

Family Dollar Store (152 Prospect St)- This facility, located on the same parent parcel as the site, is located approximately 290 feet to the Northeast of the site and is slightly downgradient. The facility appears on the RCRA VSQG and GEN MANIFEST databases. Based on the RCRA VSQG and GEN MANIFEST databases having no associated CME records, these facility listings do not constitute as RECs to the site.

Genesee Farms (Prospect St & Route 98)- This facility is located 333 feet from the site to the northeast and is upgradient of the site. The facility is identified on the RCRA NON GEN, UST, NY SPILLS, and GEN MANIFEST databases.

The facility is on the RCRA NON GEN database. Based on the fact there are no CME violations, spills, releases of hazardous materials, this facility listing does not constitute as a REC to the site.

The facility was identified on the UST for a 6,000-gallon gasoline tank and a 10,000-gallon gasoline tank. Both tanks were removed in 1996 in relation to the NY SPILL on this property. Based on the tanks being removed from the facility in 2004 and the spill being closed in 2004, this facility listing does not constitute as a REC to the site.

This facility was identified in the NY SPILLS database for an incident in 1996 in which elevated levels of gasoline contamination were found in the soil of the property. Excavation on the site led to the removal of approximately 371 truckloads of contaminated soil. The soil at the location of the spill was replaced with clean soil. The contaminated soil was taken to an offsite location where bioremediation efforts were put in place to assist in cleaning the soil. The efforts to remediate lasted until 2004 and the spill was closed in 2004. Based on the regulatory status of the spill, this facility does not constitute as a REC to the site.

Attica Land Inc / Coastal Oil of Attica / Super Duper Gas Station / Upstate Chrysler Dodge Jeep Ram (125 Prospect St)- This property is located 344 feet to the west southwest of the site and a topographic cross gradient from the site. It appears on the NY SPILLS, RCRA NON GEN, AST, UST, LST, and GEN MANIFEST databases.

The facility is on the NY SPILLS database for three spills that occurred between 1990 and 1999. The first spill was in 1990 when patrons complained that there was excessive water in the gasoline. Upon further investigation, it was found that one tank was leaking. It was repaired and kept in service. This spill was closed in 1990. There was an incident in 1992 in which a gasoline odor was identified coming from a manhole cover. The spill was closed in 1992. In 1999, the property had known contamination, and the soil was to be excavated, replaced, and then treated offsite. Following remediation

efforts, it was found that there were no elevated soil levels or present odors. The spill was closed in 2003. Based on all three spills having a regulatory status of closed, these facility listings do not constitute as a REC to the site.

This facility is on the RCRA NON GEN database. Based on the facility not having any violations in relation to CME records, this facility does not constitute as a REC to the site.

This property is on the AST database for five in-service tanks: three 275-gallon tanks holding motor oil, a 250-gallon tank holding transmission fluid, and a 250-gallon tank holding waste oil. Based on the tanks being over 300 feet away from the site at equal gradient and having no history of leaking or spills, this facility listing does not constitute as a REC to the site.

This property is on the UST database for three tanks which had all been removed from the site in the 1990s: a 5,000-gallon tank holding gasoline and two 8,000-gallon tanks holding gasoline. The property is also present on the LST database for a leaking storage tank in 1992 after gasoline odors were noticed to be coming out of a sewer manhole on the property. This was due to a check valve leak in one of the underground tanks used for gasoline storage. Contractors found that there was oil seeping out of one of the underground storage tanks and that contamination had made its way offsite. A remediation plan was put into place and soil was excavated from the site. The storage tanks were removed from the site. By 1999, the area was properly remediated, and the spill was closed out. Based on the tanks being removed from the site and the spill, which resulted from the leaking tanks being properly remediated and closed, these facility listings do not constitute a REC to the site.

This facility is on the GEN MANIFEST database for a manifest of 220 gallons of ignitable waste in 1998. Based on there being no indication of a spill or improper storage of the waste, this facility listing does not constitute as a REC to the site.

4.2 Local Agency Inquiries

Agency Contacted/Contact Method	Response
New York State Department of Environmental Conservation (NYSDEC) / Contacted via online submission	At the issuance of this report, a response has not been received from the NYSDEC. Terracon also reviewed the NYSDEC Environmental Site Database Search and New York State's Open NY Data websites for information pertaining to the site; however, information was not available for the site address.
Genesee County / Contacted via online submission	At the issuance of this report, a response has not been received from Genesee County.

Agency Contacted/Contact Method	Response
Town of Attica / Contacted via online submission	At the issuance of this report, a response has not been received from the Town of Attica.

5.0 Site Reconnaissance

5.1 General Site Information

Information contained in this section is based on a visual reconnaissance conducted while walking through the site and the accessible interior areas of structures, if any, located on the site. The site and adjoining properties are depicted on the Site Diagram, which is included in Exhibit 2 of Appendix A. Photo documentation of the site at the time of the visual reconnaissance is provided in Appendix B. Credentials of the individuals planning and conducting the site visit are included in Appendix E.

General Site Information

Site Reconnaissance	
Field Personnel	Matthew Yager
Reconnaissance Date	June 24, 2025
Weather Conditions	Sunny, 70 degrees Fahrenheit
Site Contact/Title	Unescorted
Site Utilities	
Drinking Water	Drinking water services are provided to the surrounding properties by Genesee County Water Authority
Wastewater	Wastewater services are provided to the surrounding properties by Genesee County Sewer District
Electric	Electric services are provided to the surrounding properties by New York State Electric and Gas (NYSEG)
Natural Gas	Natural gas services are provided to the surrounding properties by NYSEG

5.2 Overview of Current Site Occupants

The site consists of an approximately 0.5-acre portion of a larger 5.5-acre parent parcel and consists of a paved parking lot.

5.3 Overview of Current Site Operations

According to the Genesee County Tax Assessor, site observations, and information provided by the Client, the site consists of a paved parking lot, located at 150 Prospect St. in Attica, New York. Please refer to Exhibit 2 in Appendix A for a diagram of the site.

5.4 Site Observations

The following table summarizes site observations and interviews. Affirmative responses (designated by an "X") are discussed in more detail following the table.

Site Characteristics

Category	Item or Feature	Observed or Identified
Site Operations, Processes, and Equipment	Emergency generators	
	Elevators	
	Air compressors	
	Hydraulic lifts	
	Dry cleaning	
	Photo processing	
	Ventilation hoods and/or incinerators	
	Waste treatment systems and/or water treatment systems	
	Heating and/or cooling systems	
	Paint booths	
	Sub-grade mechanic pits	
	Wash-down areas or carwashes	
	Pesticide/herbicide production or storage	
	Printing operations	
	Metal finishing (electroplating, chrome plating, galvanizing, etc.)	
	Salvage operations	
	Oil, gas, or mineral production	
	Other processes or equipment	
Aboveground Chemical or Waste Storage	Aboveground storage tanks	
	Drums, barrels, and/or containers ≥ 5 gallons	
	MSDS or SDS	

Category	Item or Feature	Observed or Identified
Underground Chemical or Waste Storage, Drainage or Collection Systems	Underground storage tanks or ancillary UST equipment	
	Sumps, cisterns, French drains, catch basins, and/or dry wells	X
	Grease traps	
	Septic tanks and/or leach fields	
	Oil/water separators, clarifiers, sand traps, triple traps, interceptors	
	Pipeline markers	
	Interior floor drains	
Electrical Transformers/PCBs	Transformers and/or capacitors	
	Other equipment	
Releases or Potential Releases	Stressed vegetation	
	Stained soil	
	Stained pavement or similar surface	
	Leachate and/or waste seeps	
	Trash, debris, and/or other waste materials	
	Dumping or disposal areas	
	Construction/demolition debris and/or dumped fill dirt	
	Surface water discoloration, odor, sheen, and/or free-floating product	
	Strong, pungent, or noxious odors	
	Exterior pipe discharges and/or other effluent discharges	
Other Notable Site Features	Surface water bodies	
	Quarries or pits	
	Wastewater lagoons	
	Wells	

Underground Chemical or Waste Storage, Drainage or Collection Systems

Sumps, cisterns, catch basins, and/or dry wells

Terracon observed one stormwater catch basin throughout the site. No odors or sheens were observed associated with the stormwater catch basins. Based on site observations, the stormwater catch basin does not represent a REC.

6.0 Adjoining Property Reconnaissance

Visual observations of adjoining properties (from site boundaries) are summarized below.

Adjoining Properties

Direction	Description
Northeast	Top's Friendly Market & Family Dollar (parent parcel)
Northwest	Former Rite Aid
South	Burger King
Southeast	Attica Wastewater Treatment Plant
West	Citgo

RECs associated with the site originating from current off-site operations were not identified.

7.0 Additional Services

Per the agreed scope of services specified in the proposal, additional services (asbestos sampling, lead-based paint sampling, wetlands evaluation, lead in drinking water testing, radon testing, vapor encroachment screening, etc.) were not conducted.

8.0 Declaration

I, Amanda G. Lofink, declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in Section 312.10 of 40 CFR 312; and I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the site. I have developed and performed the All Appropriate Inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.



Amanda G. Lofink
Senior Associate/Environmental Department Manager

APPENDIX A

EXHIBIT 1: TOPOGRAPHIC MAP

EXHIBIT 2: SITE DIAGRAM

EXHIBIT 3: NWI MAP

EXHIBIT 4: FLOOD MAP

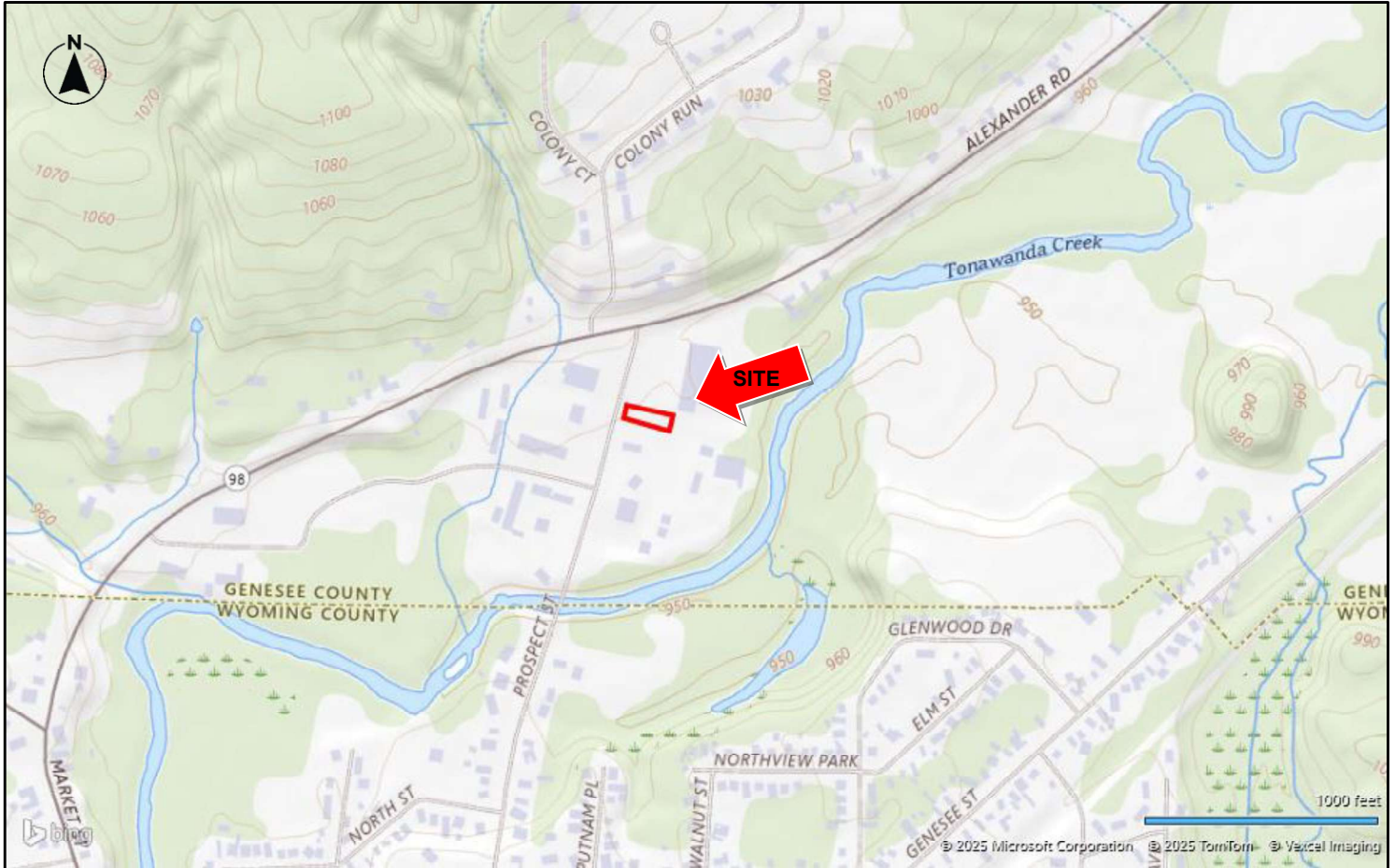


DIAGRAM IS FOR GENERAL LOCATION ONLY,
AND IS NOT INTENDED FOR CONSTRUCTION
PURPOSES

Project:	JA257020
Scale:	AS SHOWN
Client:	MS Consultants Inc
Date:	July 16, 2025

Terracon
2410 Walden Ave Ste 100
Cheektowaga, NY 14225-4745

TOPOGRAPHIC MAP

Tim Horton's- Attica Phase I ESA
140 Prospect Street
Attica, NY

Exhibit

1

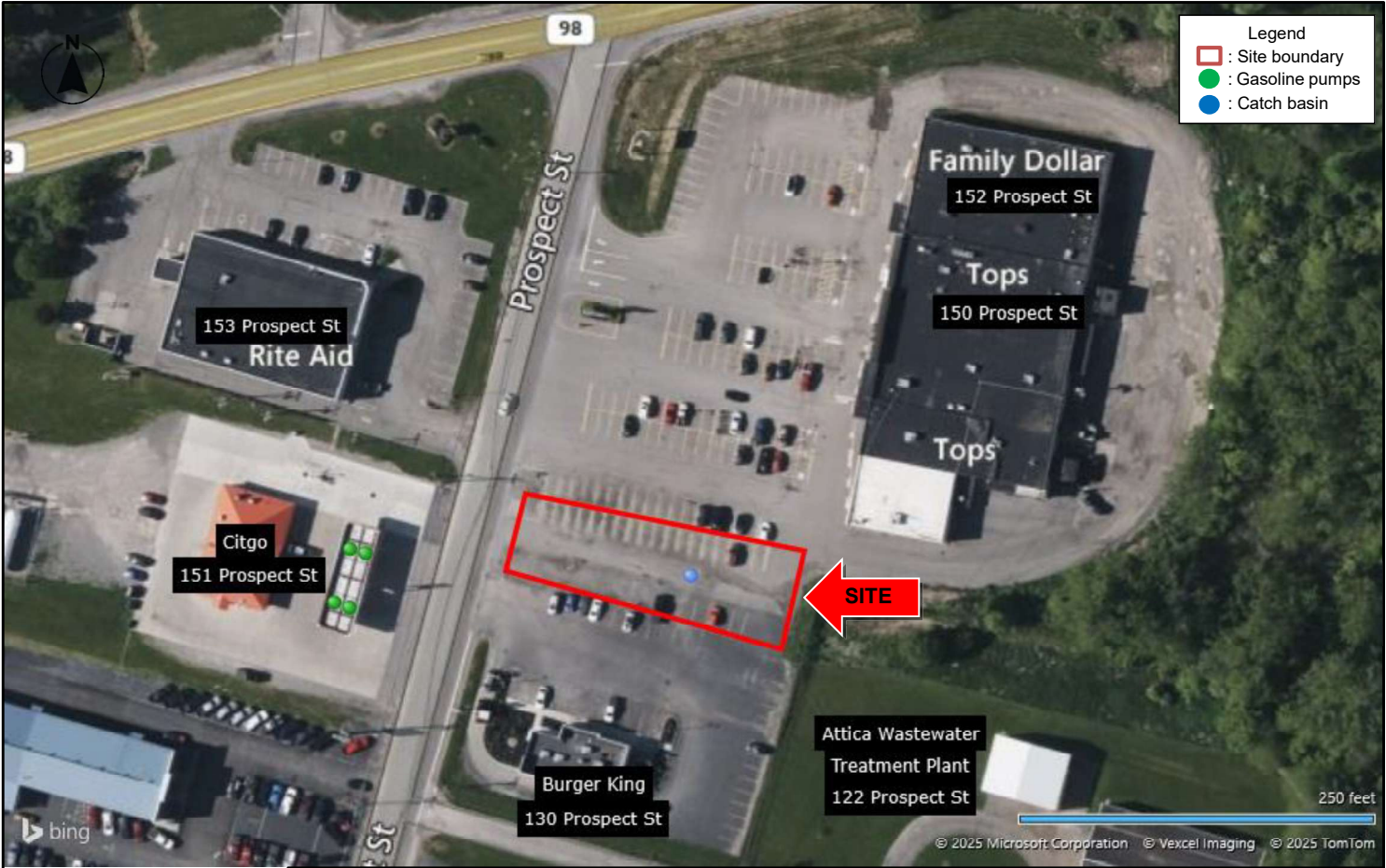



DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES	Project No. JA257020	 2410 Walden Ave Ste 100 Cheektowaga, NY 14225-4745	SITE DIAGRAM		Exhibit
	Scale: AS SHOWN		Tim Horton's- Attica Phase I ESA 140 Prospect Street Attica, NY		2
	Client: MS Consultants Inc				
	Date: July 16, 2025				



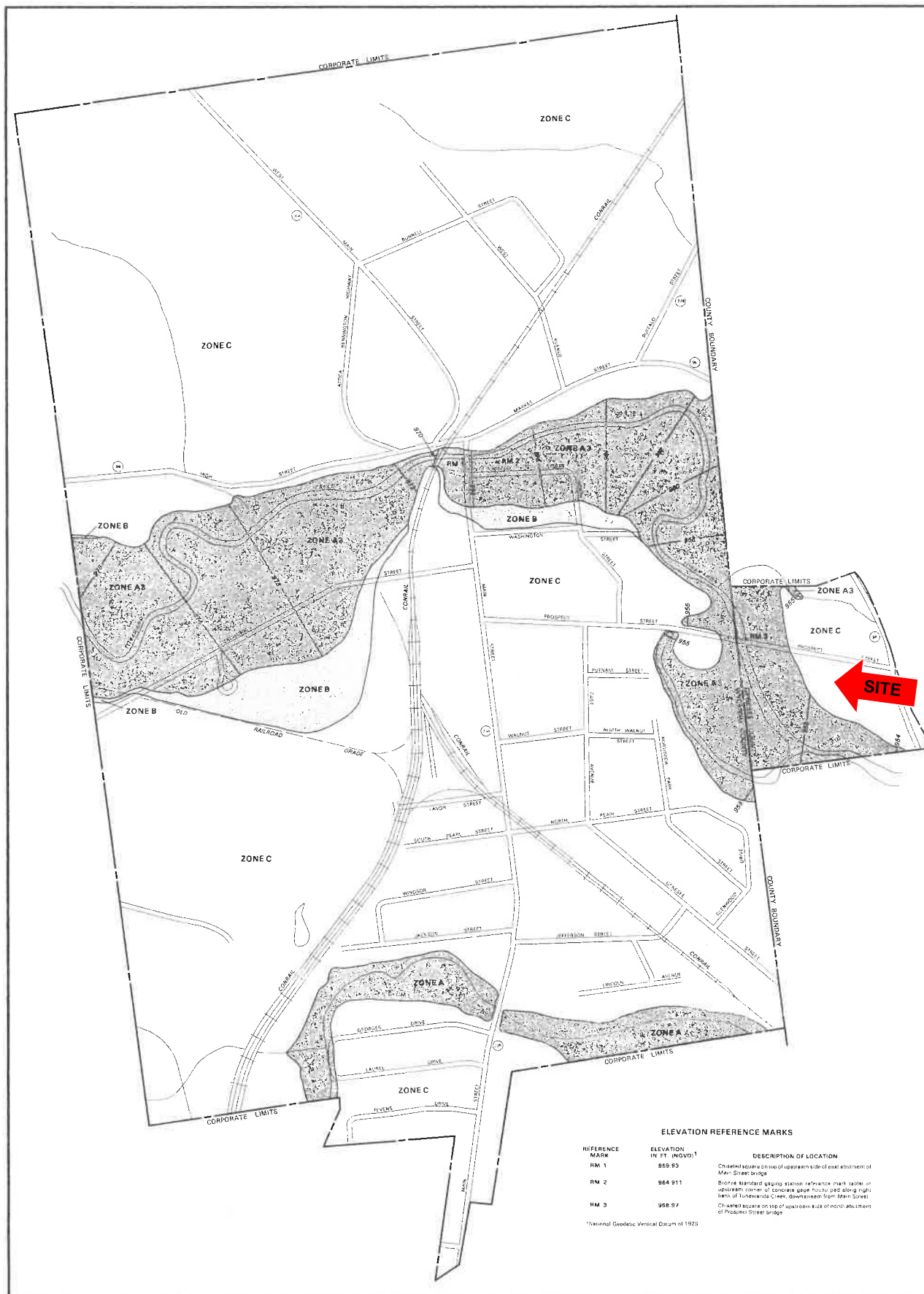
July 16, 2025

Wetlands

- | | | | | | |
|--|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

EXHIBIT 4: FLOOD MAP



KEY TO MAP

500-Year Flood Boundary
 100-Year Flood Boundary
 Zone Designations*

100-Year Flood Boundary
 500-Year Flood Boundary
 Base Flood Elevation Line
 With Elevation in Feet**
 Base Flood Elevation in Feet
 Where Unknown Within Zone**
 Elevation Reference Mark
 Zone D Boundary
 Kato Map
 **Revised to U.S. National Geodetic Vertical Datum of 1988

ZONE B
 ZONE A1
 ZONE A2
 ZONE B
 ZONE B
 IEL 9877
 FM3₂
 #M1.5

*EXPLANATION OF ZONE DESIGNATIONS

ZONE	EXPLANATION
A	Areas of 100-year flood; base flood elevations and flood hazard factors not determined.
A0	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.
AH	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.
A1-A30	Areas of 100-year flood; base flood elevations and flood hazard factors determined.
A39	Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
B	Areas between limits of the 100-year flood and 500-year flood; in certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas projected by levees from the base flood (medium flooding).
C	Areas of minimal flooding (no shading).
D	Areas of undetermined, but possible, flood hazards.
V	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
V1-V30	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

NOTES TO USER
 Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.
 This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all hydraulic features outside special flood hazard areas.

INITIAL IDENTIFICATION:
 MAY 24, 1974
FLOOD HAZARD BOUNDARY MAP REVISIONS:
 JUNE 11, 1976
 MAY 14, 1982
FLOOD INSURANCE RATE MAP EFFECTIVE:
 OCTOBER 7, 1989
FLOOD INSURANCE RATE MAP REVISIONS:
 July 2, 1989 - to show flood elevations, to change special flood hazard areas, and to change zone designations.

To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program, at (800) 638-6622.

APPROXIMATE SCALE
 400 0 400 FEET

REFERENCE MARK	ELEVATION IN FEET (NGVD:1)	DESCRIPTION OF LOCATION
RM 1	959.93	Channel square on top of upstream side of east abutment of Main Street bridge.
RM 2	964.911	Brown standard gaging station reference mark located in upstream corner of concrete gate house, just along right bank of Tuckersville Creek, downstream from Main Street.
RM 3	958.97	Channel square on top of upstream side of north abutment of Prospect Street bridge.

**National Geodetic Vertical Datum of 1929

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

VILLAGE OF ATTICA, NEW YORK
WYOMING AND GENESEE COUNTIES

ONLY PANEL PRINTED

COMMUNITY-PANEL NUMBER
360985 0001 D

MAP REVISED:
JULY 3, 1986

Federal Emergency Management Agency

APPENDIX B
SITE PHOTOGRAPHS

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing southeast- Site



Facing northeast- Site

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing northwest- Site



Facing southwest- Site

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing west- Rite-Aid and Citgo gas station on Prospect St adjacent to the site



Facing east- Tops and a connected vacant property

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing north- Site and parent parcel parking lot



Facing south- Site and parent parcel parking lot

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing east- Tops Friendly Market on the parent parcel



Facing northeast- Family Dollar connected to the Tops on the parent parcel

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing southeast- Vacant property connected to Tops with a "Now Leasing" sign for Benderson Development on the window



Facing southeast- Village of Attica wastewater treatment facility to the southeast of the site

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing southeast- Village of Attica wastewater treatment facility to the southeast of the site



Facing southwest- Burger King adjacent to the site to the south

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing west- Citgo gas station across Prospect St to the west of the site



Facing west- Rite-Aid across Prospect St to the west of the site

Exhibit B | Photo Log

Tim Horton's- Attica Phase I ESA | Attica, NY
June 24, 2025 | JA257020



Facing north- Northwest corner of the parent parcel and the intersection of Prospect St and Route 98 (Alexander Rd)

V-02-ATT-12-25



04/18/2025