



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID

T-08-BAT-09-25

Review Date

9/11/2025

Municipality

BATAVIA, T.

Board Name

PLANNING BOARD

Applicant's Name

Craig R. VanCassele (O-AT-KA Milk Products LLC)

Referral Type

Site Plan Review

Variance(s)

Description:

Site Plan Review to install a new outdoor electrical substation and air cooled chiller system.

Location

4815 Ellicott Street Rd. (NYS Rt. 63), Batavia

Zoning District

Industrial (I) District

PLANNING BOARD RECOMMENDS:

APPROVAL

EXPLANATION:

The proposed addition should pose no significant county-wide or inter-community impact.

Director

September 11, 2025

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901

DEPARTMENT USE ONLY

GCDP Referral # T-08-BAT-09-25



*** GENESEE COUNTY ***
PLANNING BOARD REFERRAL

RECEIVED

By the Genesee County Dept. of Planning at 10:50 am, Aug 22, 2025

Required According to:

GENERAL MUNICIPAL LAW ARTICLE 1 B SECTION

L M N

Please answer ALL questions as fully as possible

1. REFERRING BOARD'S INFORMATION

Board(s) TOB Planning Board

Address 3833 West Main St Rd

City, State, Zip Batavia, NY, 14020

Phone (585) 343 - 1729

Ext.

2. APPLICANT INFORMATION

Name Craig VanCassele

Address 4815 Ellicott Street Road

City, State, Zip Batavia, NY, 14020

Phone (585) 474 - 2269

Ext.

Email cvancassele@uncdairy.com

MUNICIPALITY ☐ City ☒ Town ☐ Village of Batavia

3. TYPE OF REFERRAL (Check all applicable items)

☐ Area Variance

☐ Use Variance

☐ Special Use Permit

☒ Site Plan Review

☐ Zoning Map Change

☐ Zoning Text Amendments

☐ Comprehensive Plan/Update

☐ Other: _____

☐ Subdivision Proposal

☐ Preliminary

☐ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL

A. Full Address 4815 Ellicott Street Road, Batavia, NY, 14020

B. Nearest intersecting road Cedar Street

C. Tax Map Parcel Number 13.-1-96.11

D. Total area of the property 23.10 Acres Area of property to be disturbed <1 Acres

E. Present zoning district(s) Industrial

5. REFERRAL CASE INFORMATION

A. Has this referral been previously reviewed by the Genesee County Planning Board?

☒ NO ☐ YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

Zoning Schedule A

C. Please describe the nature of this request Install new outdoor electrical substation and new air cooled chiller system

6. ENCLOSURES Please enclose copy(s) of all appropriate items in regard to this referral

☒ Local application

☒ Site plan

☐ Subdivision plot plans

☒ SEQR forms

☒ Zoning text/map amendments

☐ Location map or tax maps

☐ Elevation drawings

☐ Agricultural data statement

☐ New or updated comprehensive plan

☐ Photos

☐ Other: _____

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Troy Williams

Title CEO

Phone (585) 343 - 1729

Ext. 208

Address, City, State, Zip 3833 West Main St Rd, Batavia, NY, 14020

Email twilliams@townofbatavia.com

Building and Zoning Application Permit No. _____

Town of Batavia 3833 West Main Rd. Batavia NY 14020 PH. 585-343-1729

Date 5/21/25 / ____ Zone ☐ Flood Zone ☐ Wellhead Protection ☐ Corner Lot ☐

New Construction ☐ Fence ☐ Pond ☐ Sign ☐ Alteration(s) ☒ Addition ☐ Demolition ☐

Accessory Bldg. ☐ Mobile Home ☐ Fill Permit ☐ Home Occupation ☐ Land Separation ☐ Site Plan Approval ☐

Special Use Permit ☐ Temporary Use ☐ Subdivision ☐ Zoning Variance Request ☐ Other ☐ Specify: _____

Tax Map No. 13,-1-96.11

Owners Name O-AT-KA Milk Products LLC Phone No. (585) 343-0536

Address 4815 Ellicott Street Rd Project Road Width _____ ft

Applicants Name Craig R. VanCassele Project Address 4815 Ellicott Street Rd

E Mail Address cvancassele@uncdairy Phone No (585) 474-2269

Description of Project: Install new outdoor electrical substation and new air cooled chiller system.

Existing Use Empty Proposed Use Glycol Chiller for Production

Estimated Cost Building \$100,000 Plumbing _____ Mechanical \$2,500,000 Miscellaneous _____

SEQR CLASSIFICATION Type 1 ☐ Type 2 ☐ Unlisted ☐

Review completed by Planning Board ☐ Zoning Board of Appeals ☐

Permit Fee \$ _____ Application Date ____ / ____ / ____ Permit Expires On ____ / ____ / ____

Issuing Officer _____ Date ____ / ____ / ____

IN SIGNING THIS DOCUMENT I HEARBY GIVE THE RIGHT OF AN ON SITE INSPECTION TO THE TOWN OF BATAVIA CODE ENFORCEMENT OFFICIAL OR THEIR DESIGNE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PREFORMANCE OF CONSTRUCTION.

I, Craig R. VanCassele, as Owner or Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge.

Craig R. VanCassele

Digitally signed by Craig R. VanCassele
Date: 2025.05.21 11:48:02 -04'00'

5/21/25

Signature of Owner or Authorized Agent

Date

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Process Cooling - Phase 1		
Project Location (describe, and attach a general location map): See construction drawings.		
Brief Description of Proposed Action (include purpose or need): Installation of new outdoor switchgear, glycol chiller and associated pumps and tanks to add process cooling to existing plant infrastructure.		
Name of Applicant/Sponsor: Craig R. VanCassele		Telephone: 585-474-2269
		E-Mail: cvancassele@uncdairy.com
Address: 4815 Ellicott Street Road		
City/PO: Batavia	State: New York	Zip Code: 14020
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Planning Board or Commission		
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
<hr/> <hr/> <hr/>	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
<hr/> <hr/> <hr/>	

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the use permitted or allowed by a special or conditional use permit?	<input type="checkbox"/> Yes <input type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes,	
i. What is the proposed new zoning for the site? _____	
C.4. Existing community services.	
a. In what school district is the project site located? _____	
b. What police or other public protection forces serve the project site? _____	
c. Which fire protection and emergency medical services serve the project site? _____	
d. What parks serve the project site? _____ _____	

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Industrial _____	
b. a. Total acreage of the site of the proposed action? _____ <1 acres	
b. Total acreage to be physically disturbed? _____ <1 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ <1 acres	
c. Is the proposed action an expansion of an existing project or use? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: Added cooling capability _____	
d. Is the proposed action a subdivision, or does it include a subdivision? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____	
ii. Is a cluster/conservation layout proposed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
iii. Number of lots proposed? _____	
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	
e. Will the proposed action be constructed in multiple phases? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
i. If No, anticipated period of construction: _____ months	
ii. If Yes:	
• Total number of phases anticipated _____ 3	
• Anticipated commencement date of phase 1 (including demolition) _____ 6 month _____ year	
• Anticipated completion date of final phase _____ 36 month _____ year	
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____	
Completion of phase 1 once running will dictate need for future phase timing. _____ _____	

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)	
If Yes:	
i. What is the purpose of the excavation or dredging? <u>Electrical installation.</u>	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): <u>~100 yards, moved to alternate on-site location and leveled.</u> • Over what duration of time? <u>6 months</u> 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.	
<u>Soil displaced from running new concrete encased power to substation.</u>	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ <1 acres	
vi. What is the maximum area to be worked at any one time? _____ <1 acres	
vii. What would be the maximum depth of excavation or dredging? _____ 4 feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	
<u>Backfilled using excavated soil. New blacktop to replace removed blacktop.</u>	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☒ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☐ Yes ☒ No
If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐ Yes ☐ No
If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No
- Do existing lines serve the project site? ☐ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☐ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☐ Yes ☒ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☒ No
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____	
If Yes:	
<ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____ _____ _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____	
If Yes:	
i. How much impervious surface will the project create in relation to total size of project parcel?	
_____ Square feet or _____ acres (impervious surface) _____ Square feet or _____ acres (parcel size)	
ii. Describe types of new point sources. _____ _____	
iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____ _____	
<ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ 	
<ul style="list-style-type: none"> • Will stormwater runoff flow to adjacent properties? _____ 	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____	
If Yes, identify:	
i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____	
ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____	
iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____	
If Yes:	
i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____	
ii. In addition to emissions as calculated in the application, the project will generate:	
<ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☒ Yes ☐ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
3000kva

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
grid/local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☒ Yes ☐ No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 8-5
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____ 24 hours
- Saturday: _____ 24 hours
- Sunday: _____ 24 hours
- Holidays: _____ 24 hours

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: Task lighting on switch on 20' high pole. Perimeter security lighting ~20' high.</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): _____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☒ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			<1
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? ☐ Yes ☒ No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No
If Yes:
i. Has the facility been formally closed? ☐ Yes ☐ No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

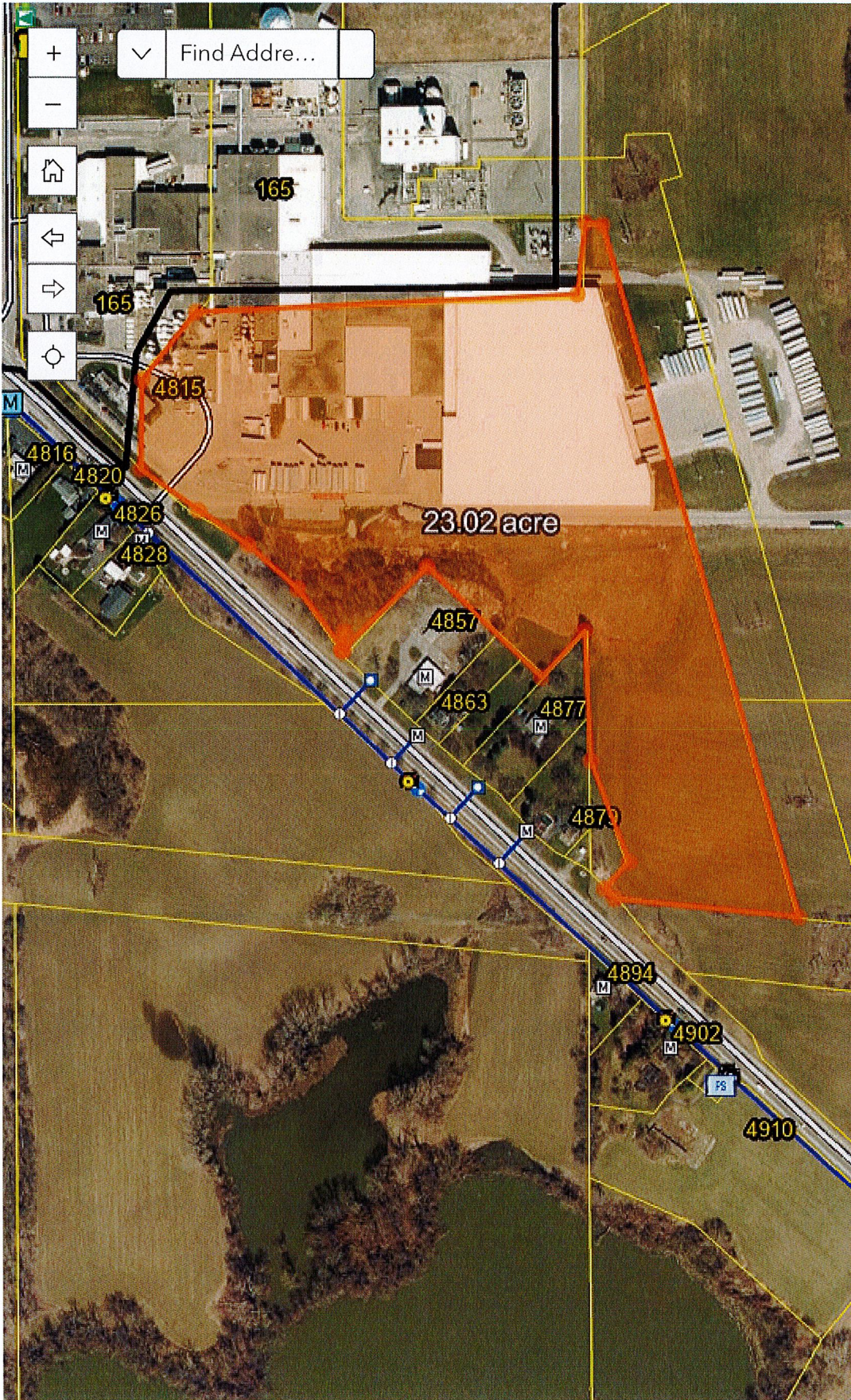
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No
☐ Yes – Spills Incidents database Provide DEC ID number(s): _____
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
☐ Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☐ No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ 30 feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: _____ %	
_____ %	
_____ %	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site	
<input type="checkbox"/> Moderately Well Drained: _____ % of site	
<input type="checkbox"/> Poorly Drained: _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site	
<input type="checkbox"/> 10-15%: _____ % of site	
<input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes to either i or ii, continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
<ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name _____ Classification _____ • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____ 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Name of aquifer: _____	

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	



Measurement



Unit

Acres

Area

23.02 acre

Perimeter

1.06 mi

New measurement

Clear measurement

100 m

500 ft

New York State, Maxar

UPSTATE NIAGARA
COOPERATIVE, INC.
FARMER OWNED

UPSTATE NIAGARA
COOPERATIVE, INC.
FARMER OWNED

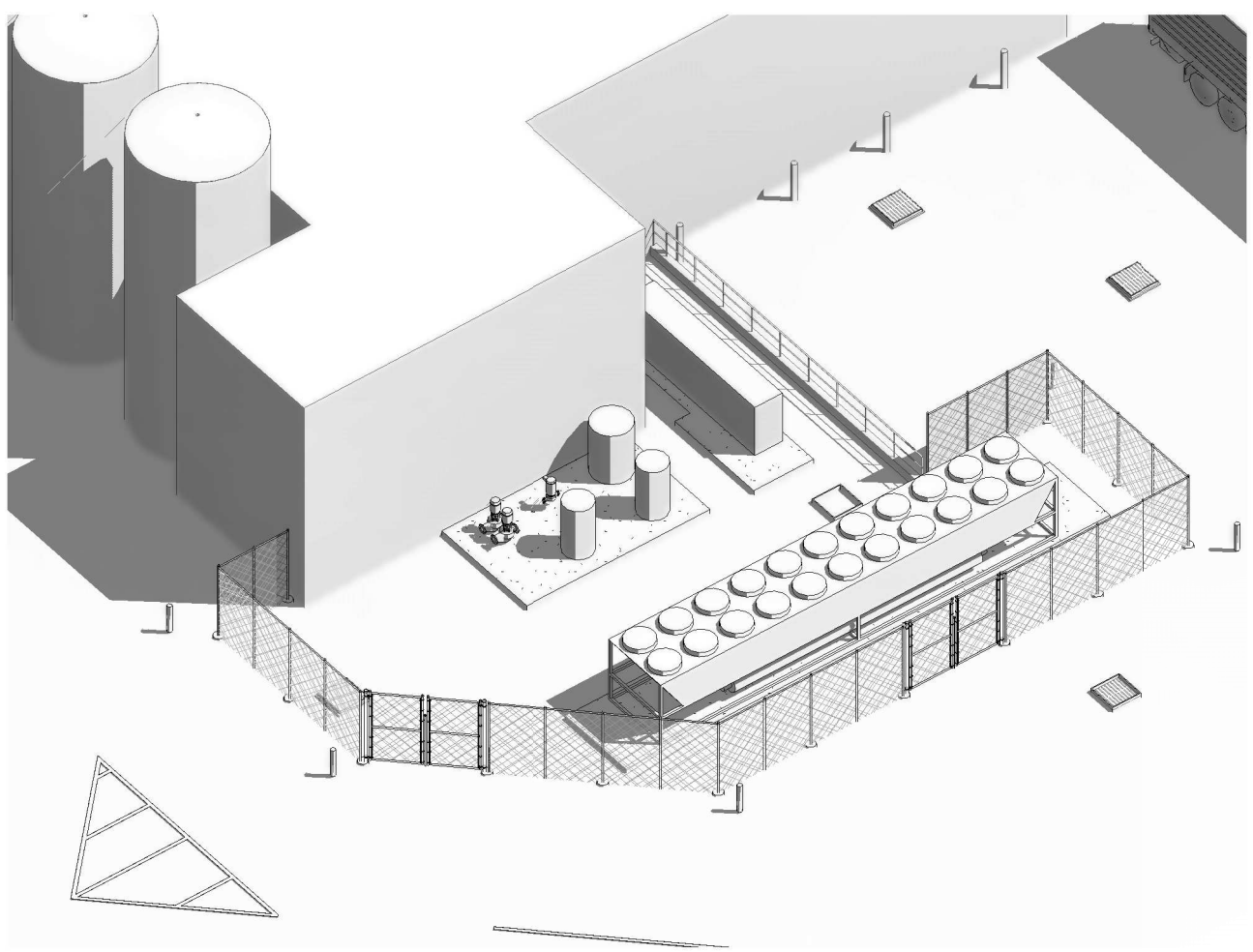
OWNER
UPSTATE NIAGARA COOPERATIVE, INC.
368 PLEASANT VIEW DRIVE
LANCASTER, NY 14086
PROJECT
UPSTATE NIAGARA BATAVIA CHILLER ADDITION
4815 ELLICOTT STREET RD BATAVIA, NY 14020



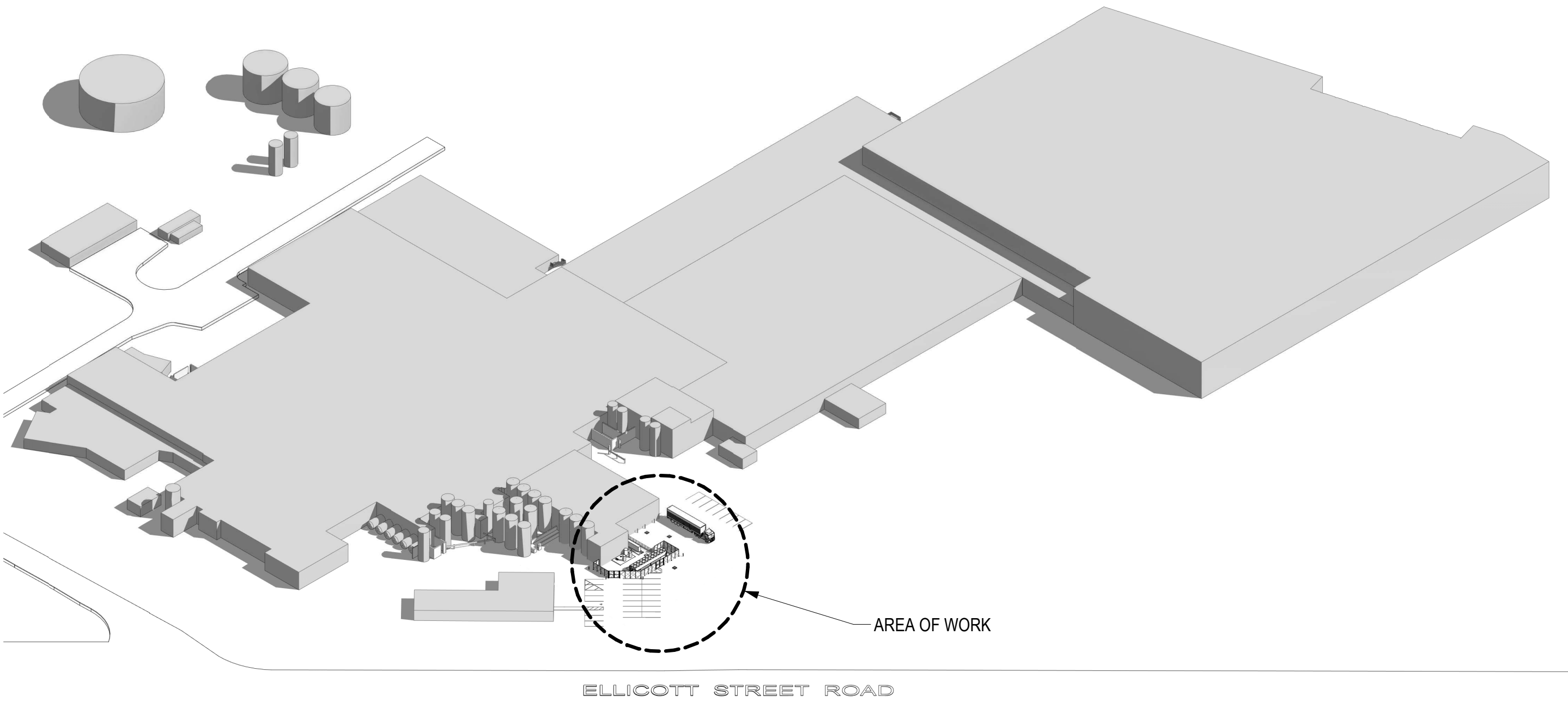
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O. 716.884.0059
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UPSTATE NIAGARA BATAVIA CHILLER ADDITION
4815 ELLICOTT STREET RD BATAVIA, NY 14020



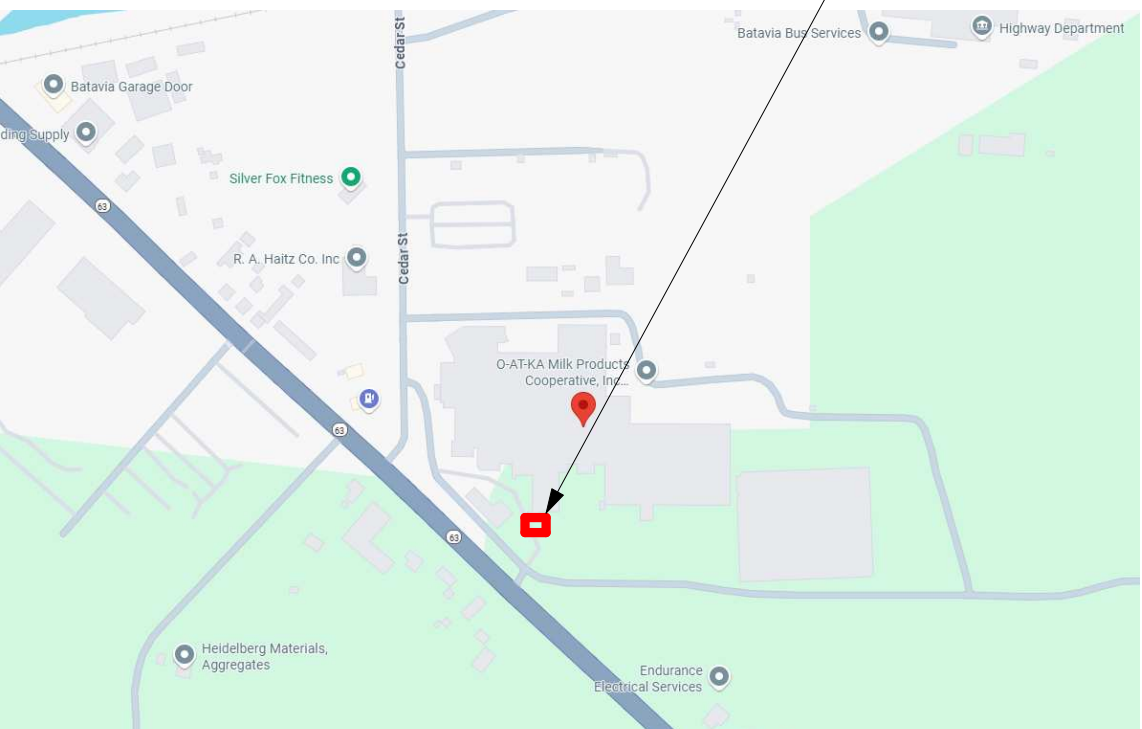
4 ENLARGED 3D VIEW
SCALE: N.T.S.



3 3D VIEW - PROCESSING AND PACKAGING FACILITY
SCALE: N.T.S.



1 AERIAL VIEW
SCALE: N.T.S.



2 LOCATION MAP
SCALE: N.T.S.

DRAWING INDEX

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C2	GRADING AND DRAINAGE PLAN, EROSION CONTROL PLAN AND CIVIL DETAILS	3
F1	FOUNDATION PLAN AND DETAILS	4

GENERAL NOTES

- CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE 2020 NEW YORK STATE BUILDING CODE AND FIRE SAFETY CODE / RELEVANT SECTIONS OF THE N.F.P.A., 'ANSI' STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, AND 'OSHA' SAFETY AND HEALTH STANDARDS, & ANY LOCAL CODES BEING MORE RESTRICTIVE THAN THE MINIMUMS LISTED.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- CONSTRUCTION MEANS, METHODS, TECHNIQUES AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTACT ARCHITECT IF MAJOR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.
- THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THIS PROJECT ARE INTENDED TO CONVEY THE DESIGN INTENT OF THE PROJECT. THE CONTRACTOR WILL COMPLETE THE SCOPE OF THE PROJECT IN COMPLIANCE WITH THE OWNER AND DESIGN TEAM INTENT. ALL CONTRACTORS AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION IN THE CONSTRUCTION DOCUMENTS.
- ANY CHANGES TO THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL ONLY BE DONE BY A CHANGE ORDER THAT IS APPROVED BY THE ARCHITECT.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT DUE TO THE NATURE OF THE PROJECT, THE EXACT EXTENT OF THE WORK CANNOT ALWAYS BE ACCURATELY DETERMINED. THESE DOCUMENTS AND ALL DIMENSIONS SHOWN HAVE BEEN PREPARED BASED ON RECORD DRAWINGS AND BRIEF FIELD OBSERVATIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. THE CONTRACTOR IS ADVISED THAT SAID DRAWINGS MAY NOT ACCURATELY REFLECT AS BUILT CONDITIONS. ACCURATE FIELD MEASUREMENTS SHOULD BE MADE PRIOR TO ORDERING ANY PREFABRICATED MATERIALS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK AND SHALL BE REFLECTED ON THE CONTRACTORS SHOP DRAWINGS.
- THE CONTRACTOR IS REQUIRED TO INSPECT THE PROJECT SITE IN ORDER TO DETERMINE THE EXTENT OF THE REQUIRED WORK. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS. MODIFICATION TO CONSTRUCTION DETAILS AND WORK QUANTITIES MAY BE REQUIRED. THIS INSPECTION SHALL BE COMPLETED PRIOR TO THE SUBMISSION OF ANY PROPOSAL TO COMPLETE THIS PROJECT. INSPECTION TIMES SHALL BE COORDINATED WITH THE OWNER. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A BID OR PROPOSAL TO COMPLETE THE WORK.
- CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS AS TO THE DESIGN INTENT OF THE PROJECT, AMOUNT AND / OR SCOPE OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS, AND CONDITIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS OR CHANGES TO THE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. SUBSTITUTIONS ARE TO BE APPROVED AS EQUALS BY THE ARCHITECT; NO OTHER SUBSTITUTIONS WILL BE ACCEPTED. IF A FINISH OF A MATERIAL IS NOT SPECIFICALLY PROVIDED (OR IS TBD) THE OWNER SHALL HAVE THE ABILITY TO SELECT FROM THE MANUFACTURER'S FULL RANGE OF FINISHES AT NO ADDITIONAL COST.
- ALL EXISTING ITEMS NOT NOTED TO BE REMOVED ARE TO REMAIN AND TO BE PROTECTED AS NECESSARY.
- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL LOCATIONS BEFORE BEGINNING WORK AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS.
- CALL BEFORE YOU DIG- UNDERGROUND UTILITIES ARE SHOWN ONLY IN AN APPROXIMATE LOCATION. CALL UTILITIES TO MARK EXACT LOCATION PRIOR TO ANY SITE WORK.
- CONTRACTOR SHALL ALSO PROVIDE BARRIERS, WARNING SIGNS, LIGHTS AS REQUIRED MAINTAINING A HIGH LEVEL OF TEMPERED SAFETY IN AREAS ADJACENT TO THE SITE.
- GENERAL CONTRACTOR TO PERFORM DAILY CLEAN UP.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE, CONTRACTOR TO REPAIR ANY DAMAGE THAT MAY OCCUR DURING CONSTRUCTION.
- COPYRIGHT 2025 BY SCHEID ARCHITECTURAL. NO PART OF THIS WORK MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING OR BY ANY INFORMATION STORAGE OR RETRIEVAL SYSTEM.

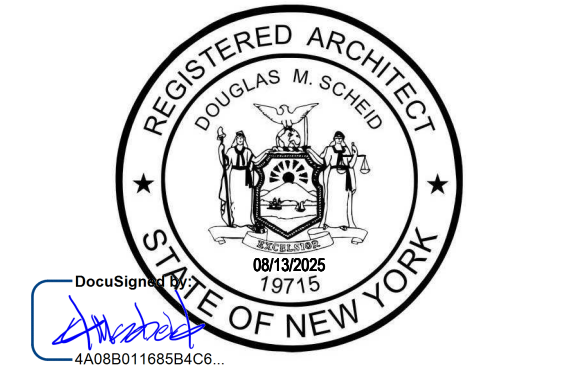
APPROVAL SIGNATURE:

STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA — TOWN ENGINEER

DATE

#	ISSUE DATE	DESCRIPTION
1	08/13/2025	PLANNING BOARD SET

SEAL/SIGNATURE



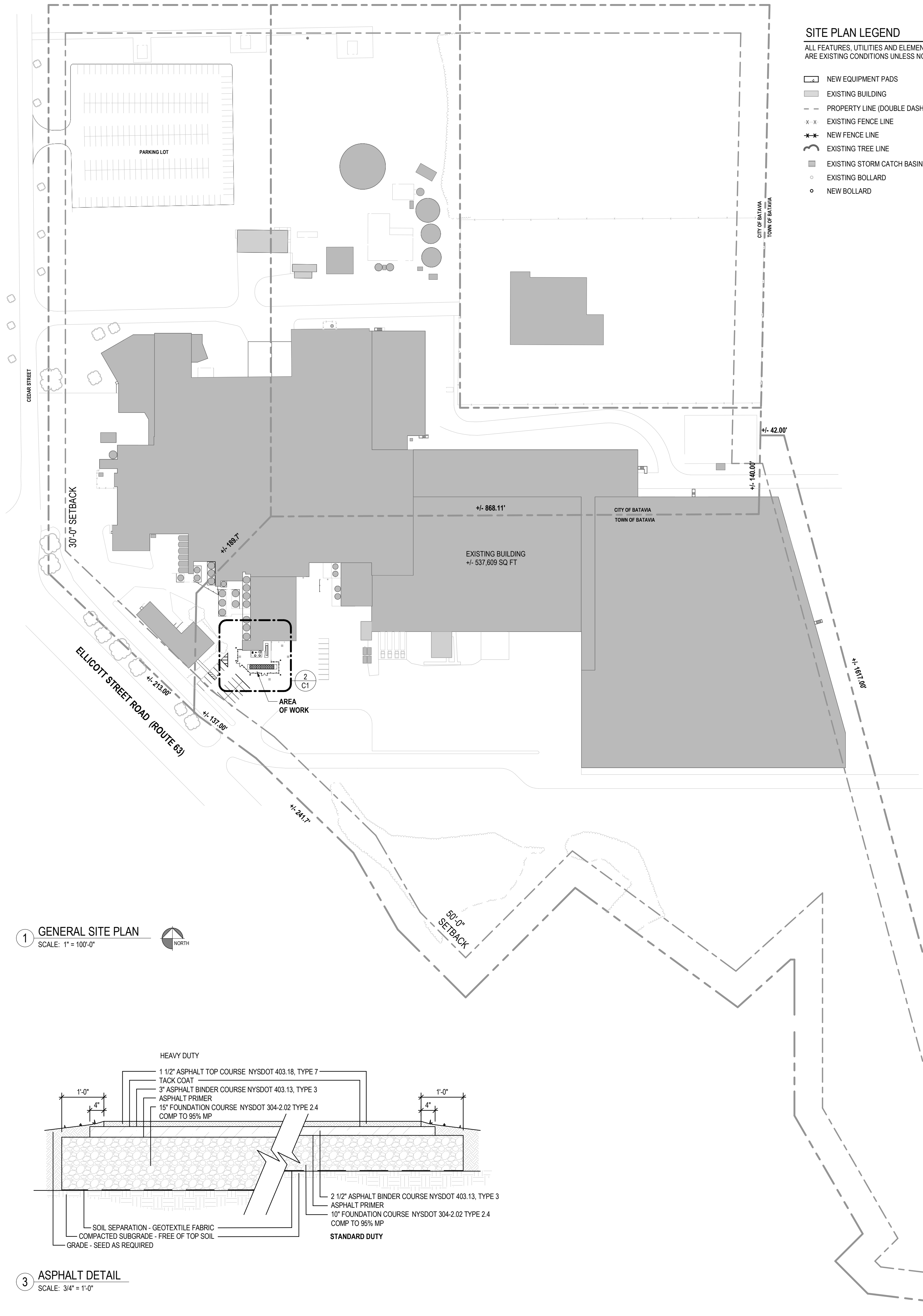
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COVER SHEET

PROJECT NUMBER
2025-042
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SHEET

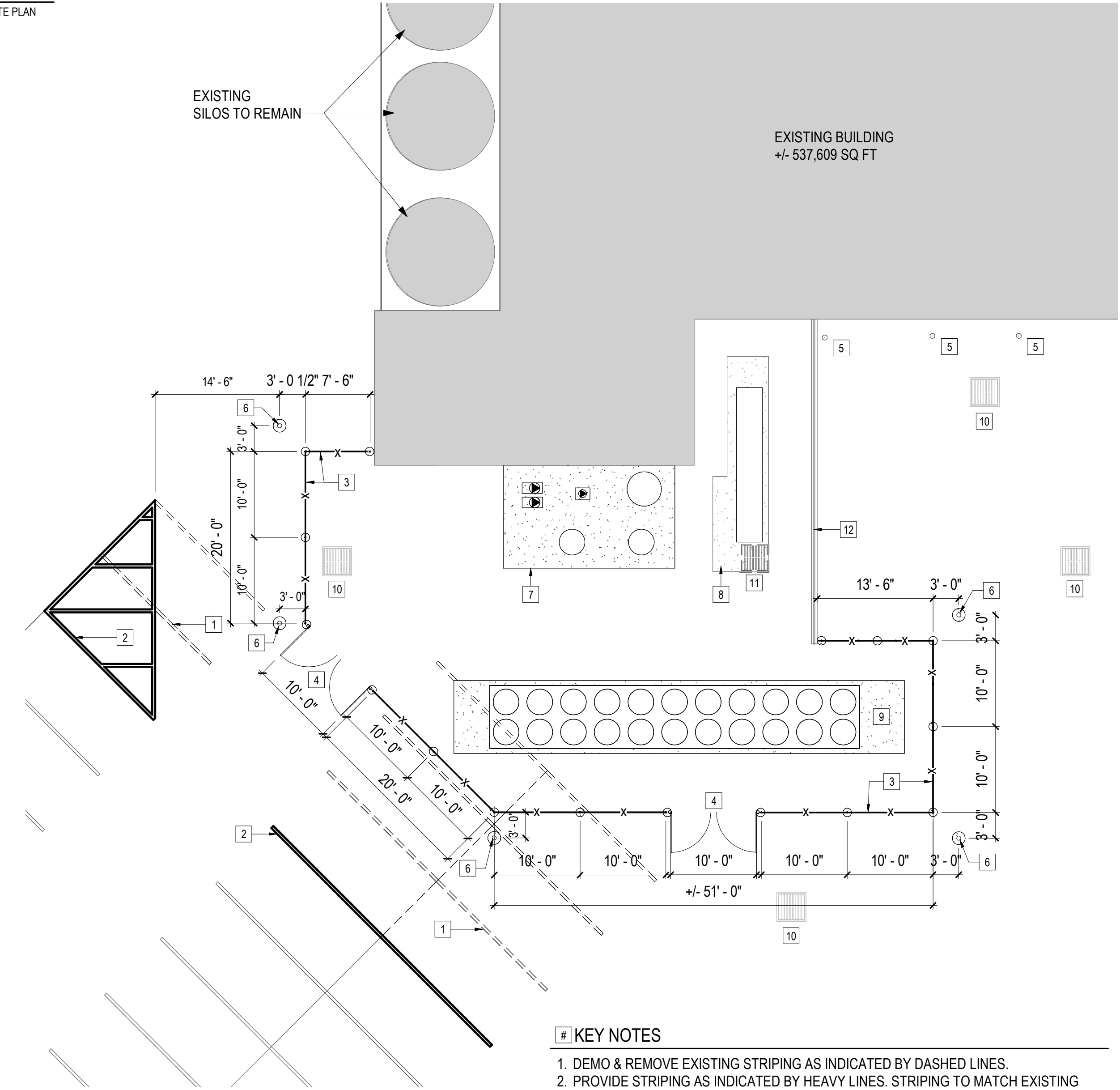
G1



SITE PLAN LEGEND

ALL FEATURES, UTILITIES AND ELEMENTS SHOWN ON THIS SITE PLAN ARE EXISTING CONDITIONS UNLESS NOTED OTHERWISE.

- NEW EQUIPMENT PADS
- EXISTING BUILDING
- PROPERTY LINE (DOUBLE DASH)
- EXISTING FENCE LINE
- NEW FENCE LINE
- EXISTING TREE LINE
- EXISTING STORM CATCH BASIN
- EXISTING BOLLARD
- NEW BOLLARD



KEY NOTES

- DEMO & REMOVE EXISTING STRIPING AS INDICATED BY DASHED LINES.
- PROVIDE STRIPING AS INDICATED BY HEAVY LINES. STRIPING TO MATCH EXISTING COLOR AND WIDTH.
- METAL FENCING WITH 9 GA. GALVINIZED MESH AND PRIVACY SLATS. PROVIDE ALL NECESSARY COMPONENTS INCLUDING BUT NOT LIMITED TO SS-40 POSTS, RAILS, FITTINGS, SLEEVES, TENSION WIRE, ETC. SIZE COMPONENTS AS REQUIRED TO SPAN 120" AS INDICATED IN PLAN. PROVIDE AND INSTALL CONCRETE PIER AT EACH POST PER FOUNDATION DRAWINGS. PROVIDE SLAT COLOR SAMPLES TO OWNER FOR APPROVAL.
- 10 FOOT DOUBLE GATE. BRACE AND TRUSS AS NECESSARY. MATCH MESH AND PRIVACY SLATS OF ADJACENT FENCING.
- EXISTING BOLLARD TO REMAIN.
- NEW BOLLARD AND CONCRETE PIER PER FOUNDATION DRAWINGS.
- PUMP EQUIPMENT PAD PER FOUNDATION DRAWINGS.
- TRANSFORMER EQUIPMENT PAD PER FOUNDATION DRAWINGS.
- CHILLER EQUIPMENT PAD PER FOUNDATION DRAWINGS
- EXISTING CATCH BASIN TO REMAIN.
- EXISTING CATCH BASIN ABANDONED BY OWNER.
- EXISTING RETAINING WALL AND RAILING TO REMAIN.

ZONING CODE ANALYSIS

	REQUIRED	EXISTING	PROPOSED
ZONE REQUIREMENT	I - INDUSTRIAL	PERMITTED USE	PERMITTED USE
MINIMUM LOT AREA	40,000 SF	1,001,748.95 SF	COMPLIES
MINIMUM LOT FRONTAGE	200 FT	+/- 700 FT	COMPLIES
MINIMUM FRONT YARD SETBACK	50 FT	EXISTING	COMPLIES
MINIMUM REAR YARD SETBACK	50 FT	EXISTING	COMPLIES
MINIMUM SIDE YARD SETBACK	30 FT	EXISTING	COMPLIES
MAXIMUM BUILDING HEIGHT	40 FT	EXISTING	COMPLIES
MAXIMUM LOT COVERAGE	35%	EXISTING	NO INCREASE
MINIMUM GREEN SPACE	15%	EXISTING	NO INCREASE

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APPROVAL SIGNATURE:

STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA - TOWN ENGINEER

DATE

UPSTATE NIAGARA COOPERATIVE, INC.
FARMER OWNED

OWNER
UPSTATE NIAGARA COOPERATIVE, INC.
368 PLEASANT VIEW DRIVE
LANCASTER, NY 14086

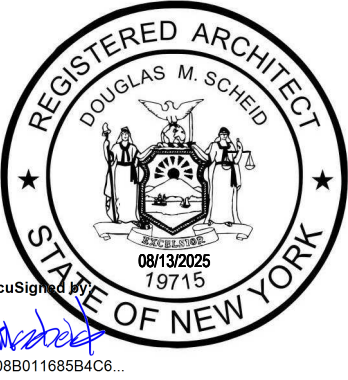
PROJECT
UPSTATE NIAGARA BATAVIA CHILLER ADDITION
4815 ELLICOTT STREET RD BATAVIA, NY 14020



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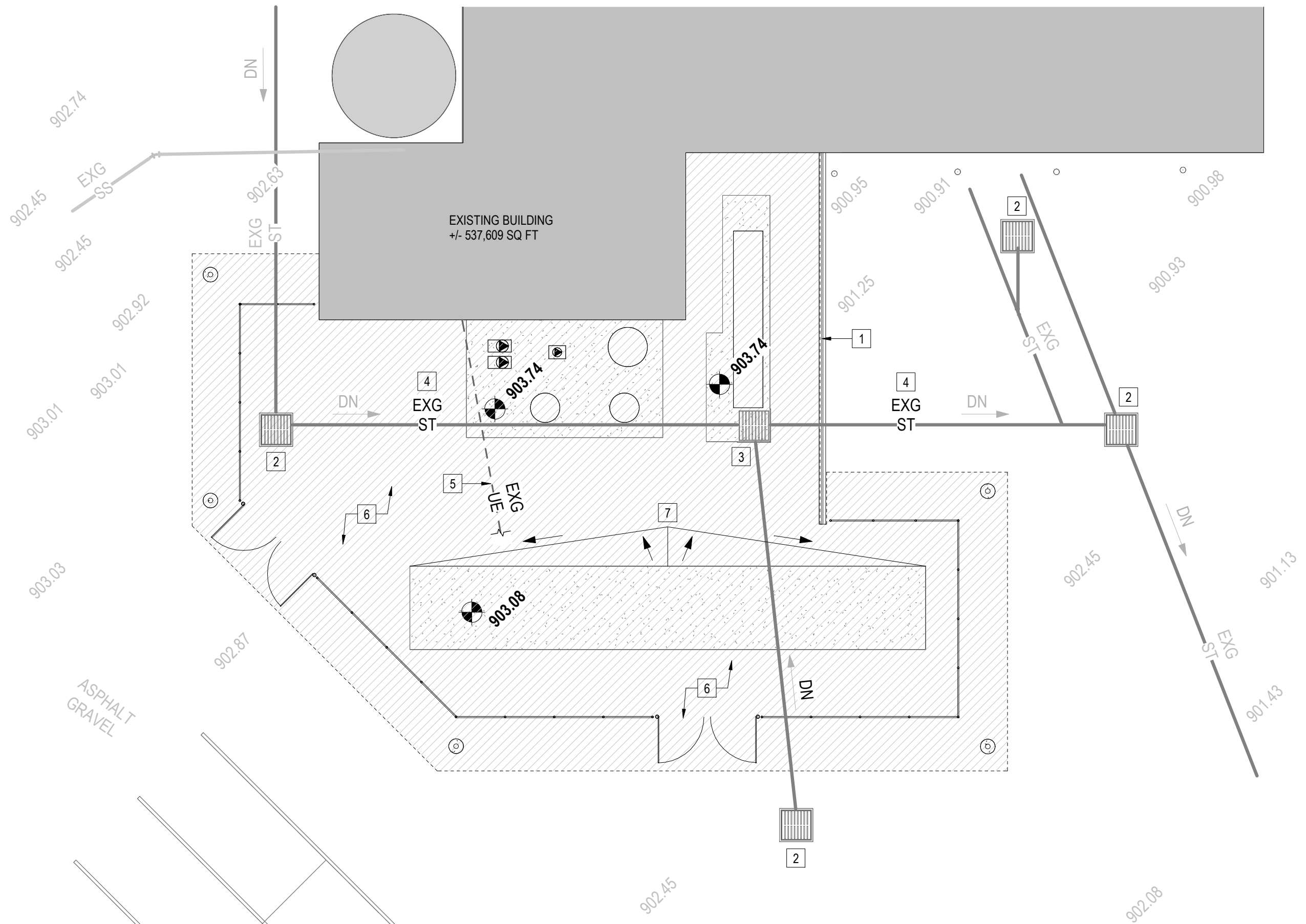
SHEET TITLE
SITE PLAN AND ZONING ANALYSIS

PROJECT NUMBER
2025-042

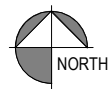
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SHEET

C1



1 GRADING AND DRAINAGE PLAN
SCALE: 1" = 10'-0"



GRADING AND DRAINAGE PLAN KEY NOTES

- EXISTING RETAINING WALL AND RAILING TO REMAIN.
- EXISTING CATCH BASIN TO REMAIN.
- EXISTING CATCH BASIN ABANDONED BY OWNER.
- EXISTING PVC STORM LINE TO REMAIN.
- APPROXIMATE LOCATION OF EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN. TAKE CARE NOT TO DAMAGE DURING CONSTRUCTION EFFORTS. VERIFY EXACT LOCATION AND DEPTH IN FIELD.
- ASPHALT PAVING PER DETAIL SHEET C1. SLOPE TO MATCH EXISTING GRADING UNLESS NOTED OTHERWISE.
- REGRADE AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM CHILLER PAD.

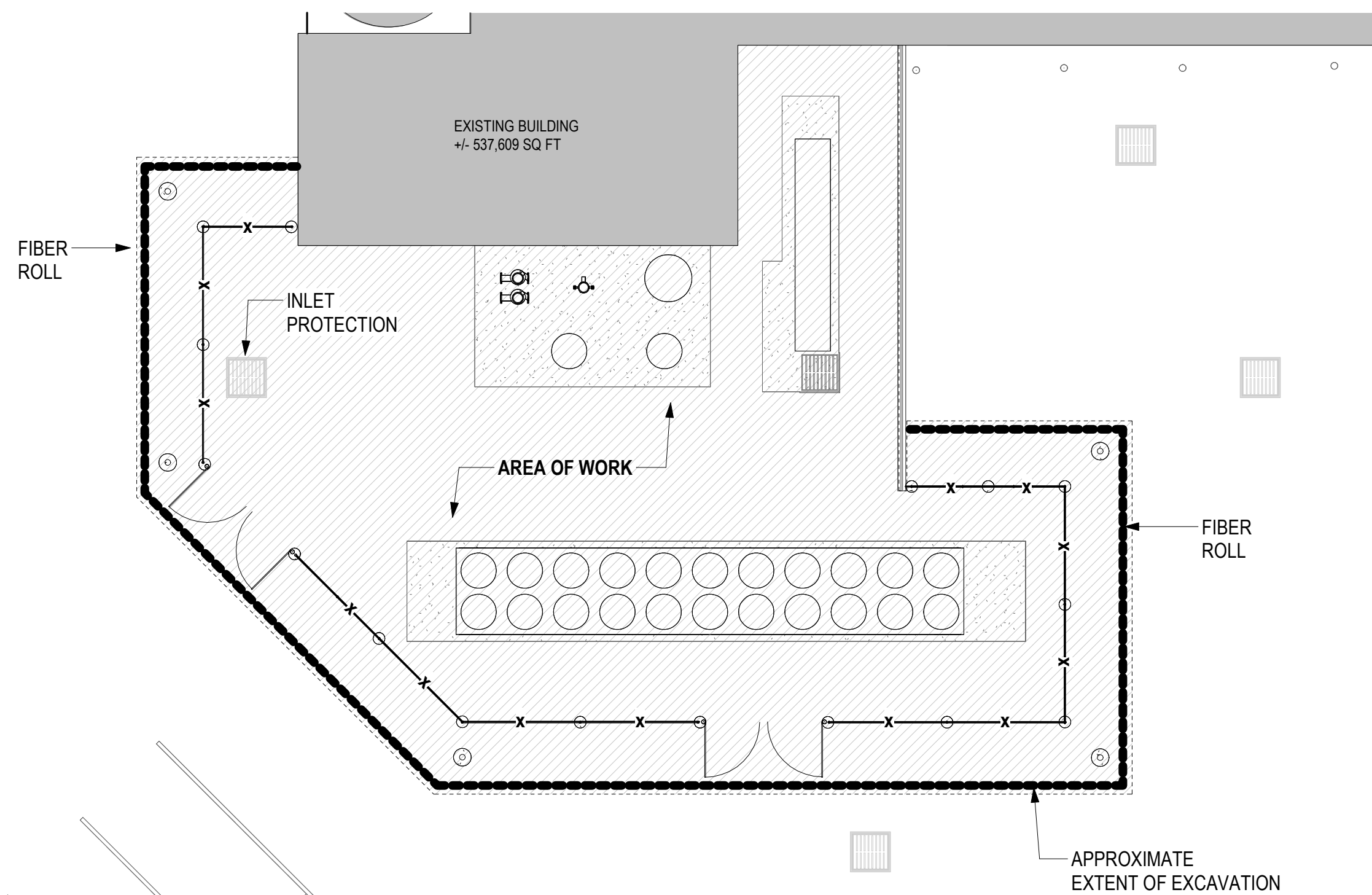
SITE PLAN LEGEND

ALL FEATURES, UTILITIES AND ELEMENTS SHOWN ON THIS SITE PLAN ARE EXISTING.
CONDITIONS UNLESS NOTED OTHERWISE.

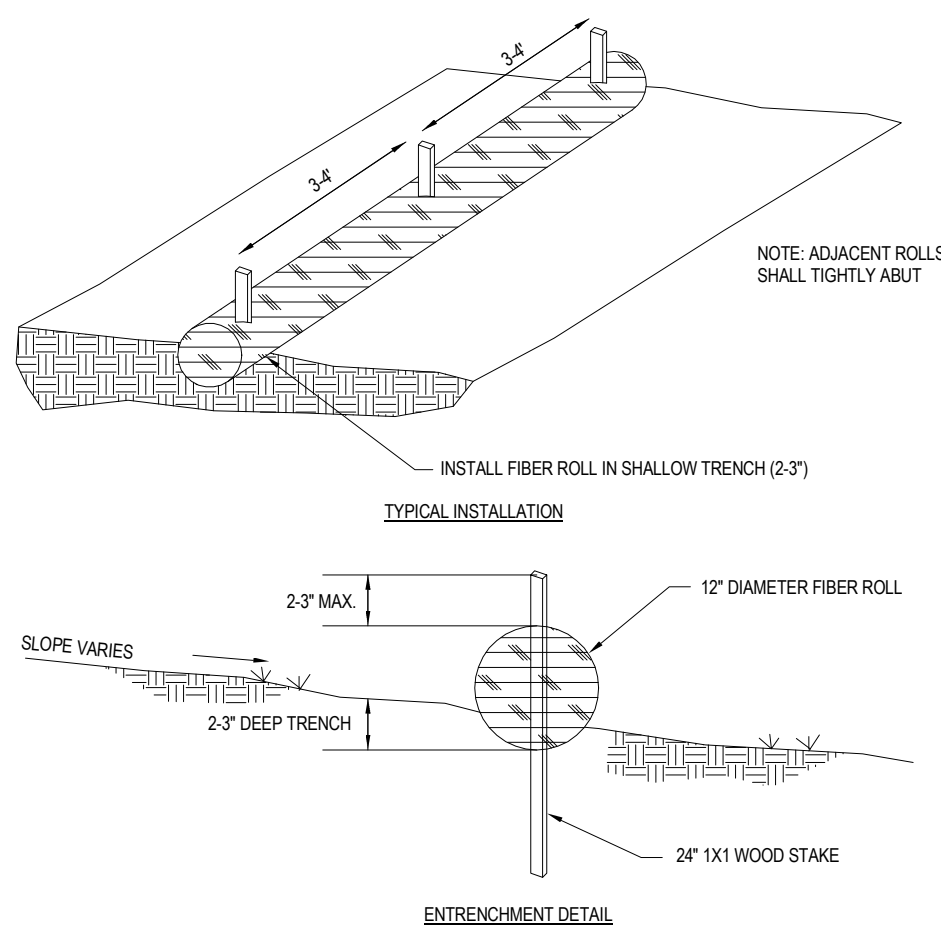
- EXISTING BUILDING
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING STORM CATCH BASIN
- SPOT ELEVATION
- EXISTING BOLLARD
- BOLLARD

EROSION CONTROL NOTES

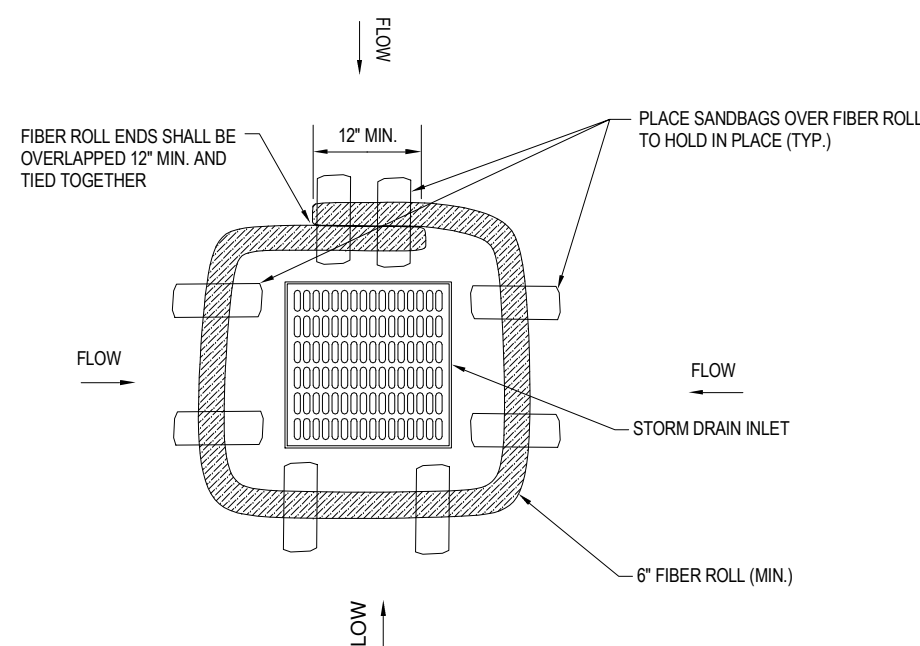
- LOCATION OF MATERIAL AND TOPSOIL STOCKPILE AREA TO BE DETERMINED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION. MATERIAL AND TOPSOIL PILE TO BE ENCLOSED WITH FIBER ROLL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
- FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN COMPLIANCE WITH THE EROSION CONTROL DETAILS.



2 EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 10'-0"



4 TYP. FIBER ROLL INSTALLATION
SCALE: 3/16" = 1'-0"

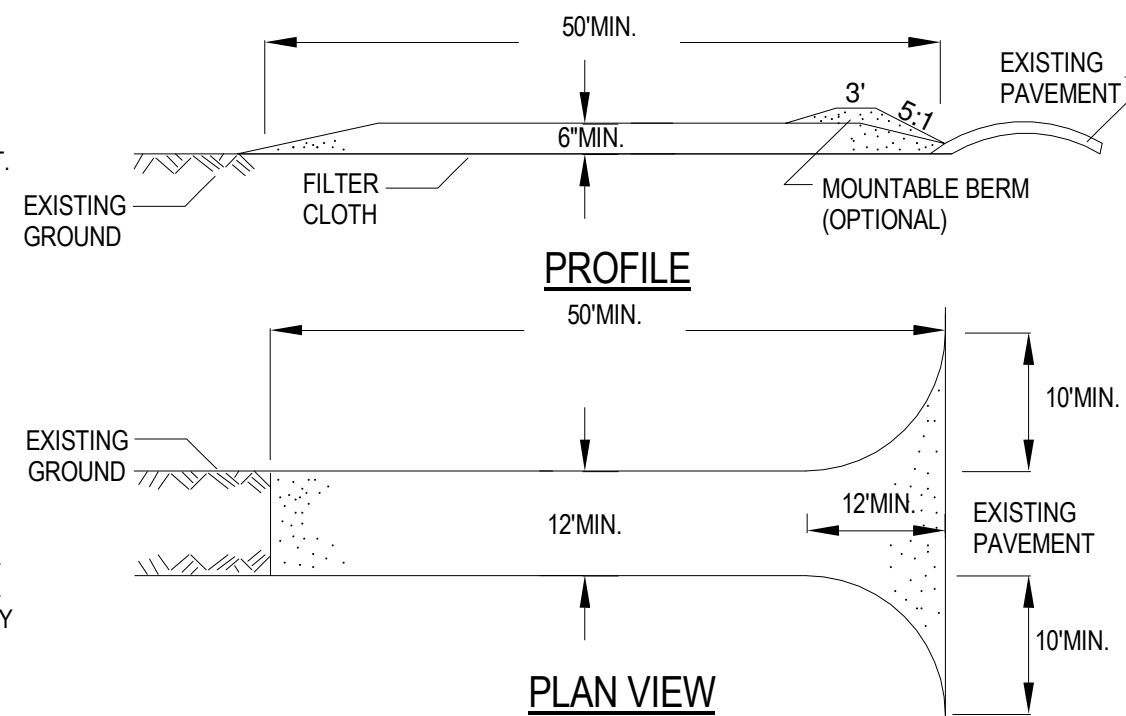


5 STORM DRAIN INLET PROTECTION DETAIL
SCALE: 3/16" = 1'-0"

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

6 STABILIZED CONSTRUCTION ENTRANCE DETAIL
SCALE: 1/4" = 1'-0"



APPROVAL SIGNATURE:

STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA - TOWN ENGINEER

DATE

UPSTATE NIAGARA
COOPERATIVE, INC.
FARMER OWNED

OWNER
UPSTATE NIAGARA COOPERATIVE, INC.
368 PLEASANT VIEW DRIVE
LANCASTER, NY 14086

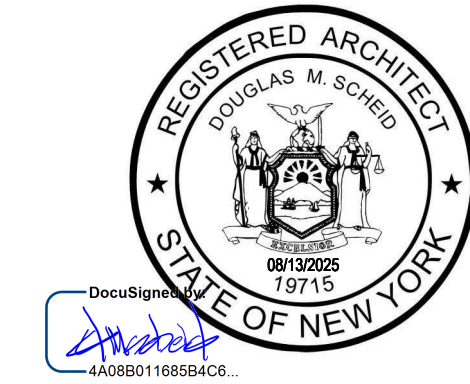
PROJECT
UPSTATE NIAGARA BATAVIA CHILLER ADDITION
4815 ELLICOTT STREET RD BATAVIA, NY 14020



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ISSUE DATE DESCRIPTION
08/13/2025 PLANNING BOARD SET

SEAL/SIGNATURE



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SHEET TITLE
GRADING AND DRAINAGE PLAN,
EROSION CONTROL PLAN AND
CIVIL DETAILS

PROJECT NUMBER
2025-042
PLOT DATE
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SHEET

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04/04/2025